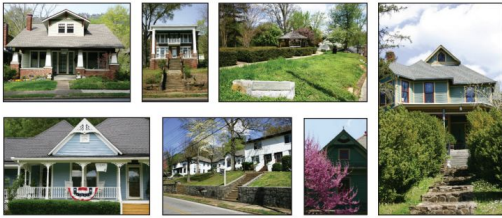


Historic Zoning Commission

March 20, 2025

St. Elmo

Historic District Guidelines



Fort Wood

Historic District Guidelines



Ferber Place

Historic District Guidelines



Battery Place

Historic District Guidelines



Rules of Procedure

The order of business for hearing will be as follows:

1. **Staff Presentation**
 - a. Application description of proposed project
 - b. Note if the site/structure is historic and/or listed as contributing to the character of the district.
 - c. Location of proposed project
 - d. Explanation of proposed project
 - e. Project photographs and plans
2. **Applicant Presentation** (10 minutes maximum)
3. **Comments by Other Persons** (limited to 5 minutes)
 - a. Opponents, proponents, and other
4. **Applicant Response** (5 minute maximum)
5. **Historic Zoning Commission Discussion**
6. **Motion and Vote**

A Certificate of Appropriateness will be issued within a week of the hearing.

If you defer your case OR if you have conditional items to bring back before the Commission, you **MUST** contact staff and ask to be added to the agenda for that meeting. You will NOT automatically be added to the agenda.

Please note that this meeting is being recorded.

Additional Rules of Procedure

- **Swearing In & Sign In:** If you plan to speak you must be sworn in and sign in at the podium.
- **Laser Pointer:** Use the laser pointer to indicate what areas you are modifying when presenting.
- **Applicant Deferring Case:** If you would like to defer your case to be heard at a later date, a deferral must be requested by the applicant prior to the statement of the case's motion.
 - The application must be updated (in its entirety) by the applicant and submitted one week after the meeting date.
- **Exiting During the Meeting:** If you leave the meeting, please wait until exiting to wooden doors to speak.
- **COA Information:**
 - All construction work must meet the Certificate of Appropriateness (COA) and Design Guidelines as approved by the Chattanooga Historic Zoning Commission or CHZC Staff. If plans change, a new application will be required. If work is not started within 6 months of issue date, a new COA will need to be issued.
 - A COA is NOT a building permit or a land disturbing permit. Please contact the Land Disturbing Office or the Building Permit Office prior to starting the project.
 - The COA must be posted in a visible location or on file on the property until the project is completed.

Agenda

1. Roll Call

2. Swearing In

3. Rules of Procedure. Order of Business

4. Approve Minutes of Prior Meetings

6. Old Business:

- I. HZ-23-165: 4505 Alabama Ave. : Pool House Redesign
- II. HZ-24-128: 4705 St. Elmo Ave.: Front Porch Reconstruction

7. New Business:

a. Listing of Staff Reviews

b. Commission Cases to review

- I. HZ-25-12: 4409 Tennessee Ave.: Detached Garage
- II. HZ-25-18: 5508 Beulah Ave.: New Construction
- III. HZD-25-2: 5401 Alabama Ave.: Primary Dwelling Demolition

8. Other Business: None

9. Announcements: Next meeting date: April 17, 2025 (application deadline – March 21, 2025 at 4 p.m.)

10. Adjourn

Staff Reviews

- I. **HZ-25-13: Signage, Application Rejected per Zoning Code Requirements**
- II. **HZ-25-16: Rear Patio and Privacy Fence**
- III. **HZ-25-17: Mortar Repair and Repointing**
- IV. **HZ-25-19: Asphalt Shingle Roof Replacement**
- V. **HZ-25-20: Porch Repairs and Replacement In-Kind**
- VI. **HZ-25-21: COA Renewal**
- VII. **HZ-25-23: Demolition of Non-Historic Treehouse Structure**



Old Business

Case # HZ-23-165

4505 Alabama Ave

Neighborhood: Saint Elmo

Historic Structure: Yes, ca. 1905

Description of proposed project: Pool House Revision



Historic Zoning History: HZ-13-112: New 2 story addition and screened porch on rear; new garage, concrete driveway.

HZ-14-89: Two story addition off back; dormer addition off south roof side; addition of screened porch off south face of addition; extend drive to new garage behind house; add 32'x26' garage

HZ-14-196 - 12' addition, parking strips, new windows 1/1 or fixed, adjusting garage location

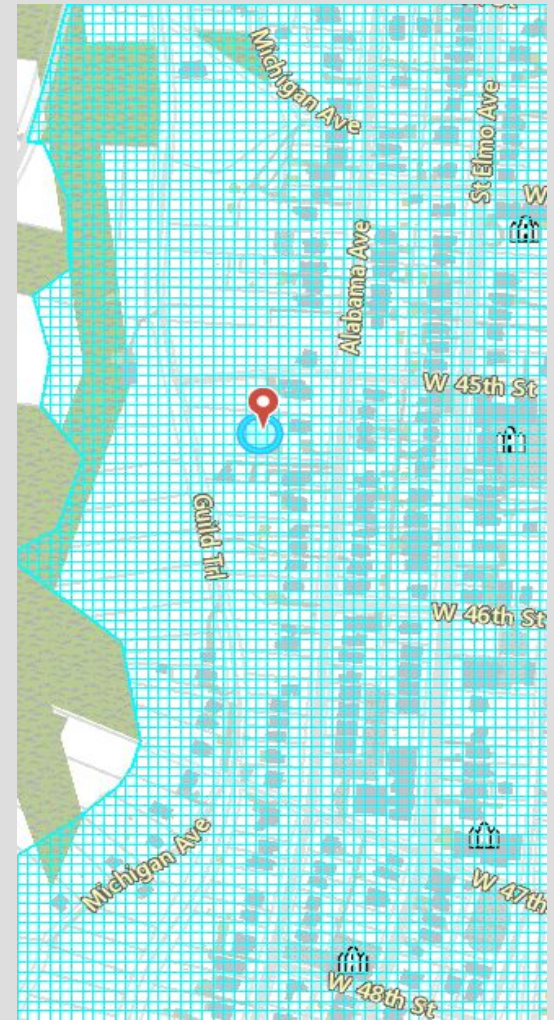
HZ-16-82 - Patio

HZ-17-27 - Patio, Retaining walls

HZ-23-164 - Staff Review of Inground Pool

Map Location

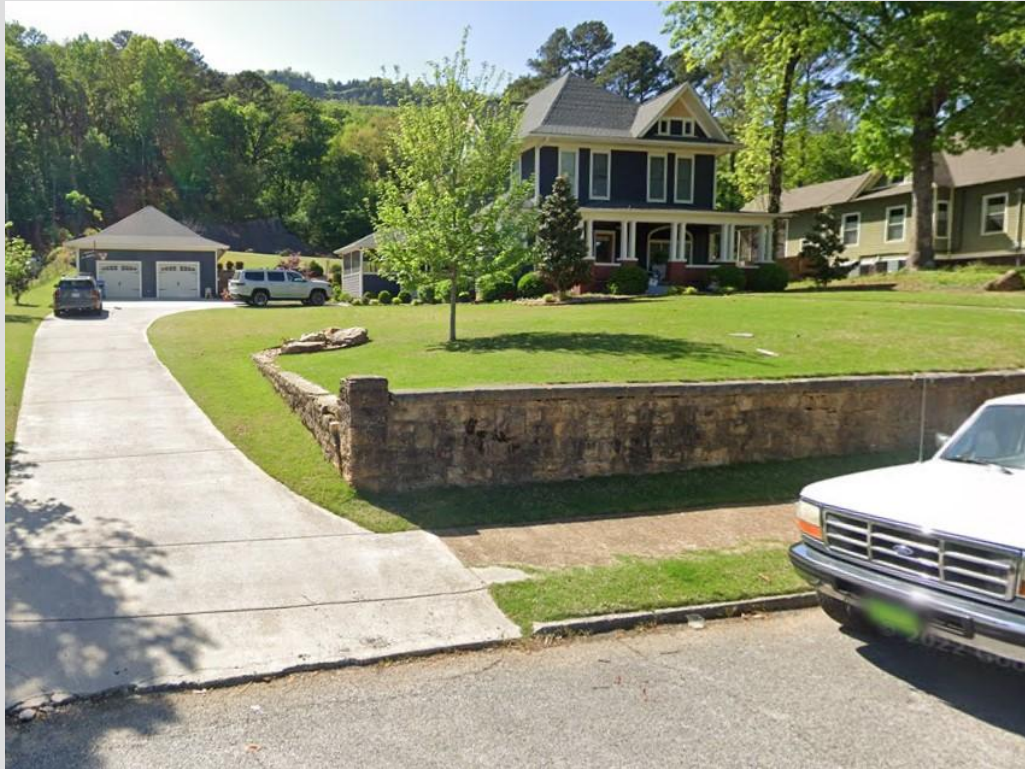
Case # HZ-23-165
4505 Alabama Ave.



Property Photos

Case # HZ-23-165

4505 Alabama Avenue



Site

Property Photos

Case # HZ-23-165

4505 Alabama Avenue



Property Photos

Case # HZ-23-165

4505 Alabama Avenue



Property Photos

Case # HZ-23-165

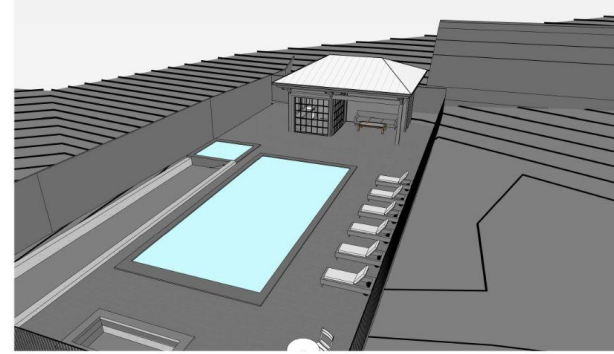
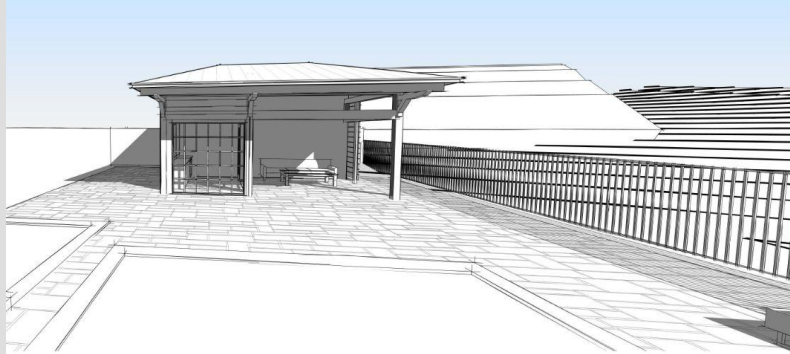
4505 Alabama Avenue



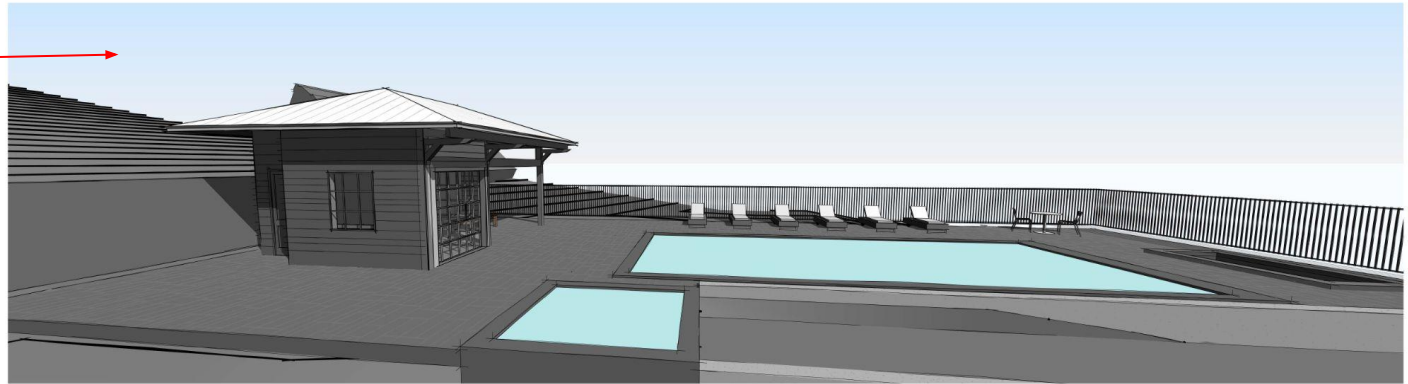
Application Information

Case # HZ-23-165

4505 Alabama Avenue



Previously
approved
design



PERSPECTIVE VIEWS

FARMER POOL

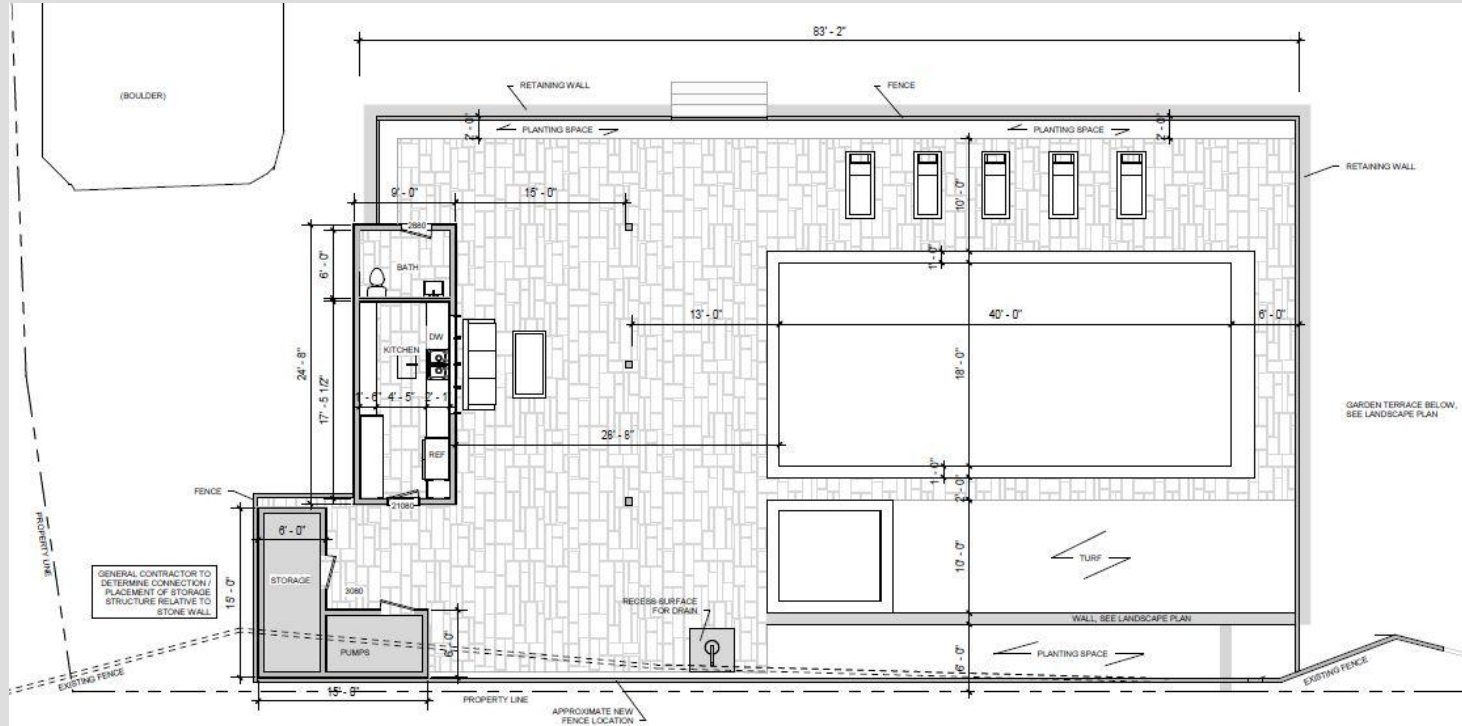
4505 Alabama Avenue

05/13/24

Application Information

Case # HZ-23-165

4505 Alabama Avenue



4505 ALABAMA AVENUE
SITE PLAN 1/8" = 1' - 0"
02 / 18 / 2025

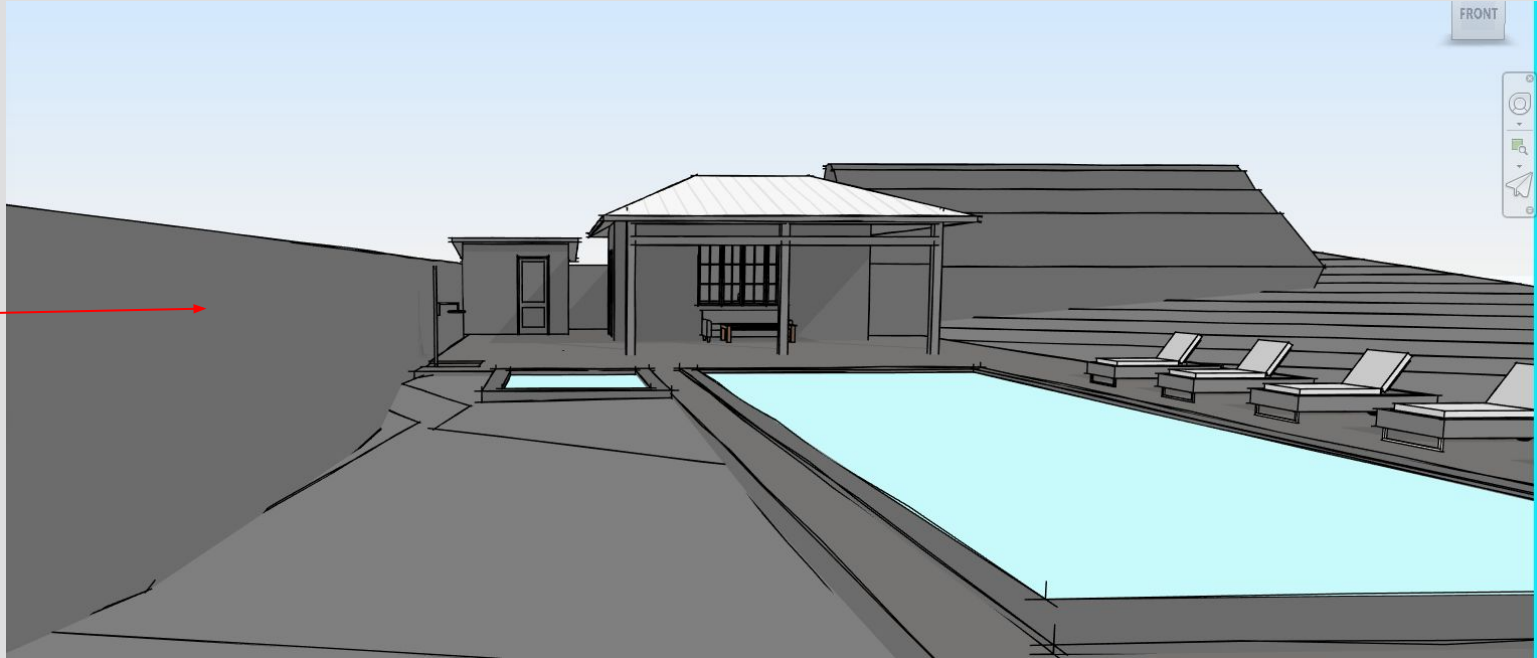


Application Information

Case # HZ-23-165

4505 Alabama Avenue

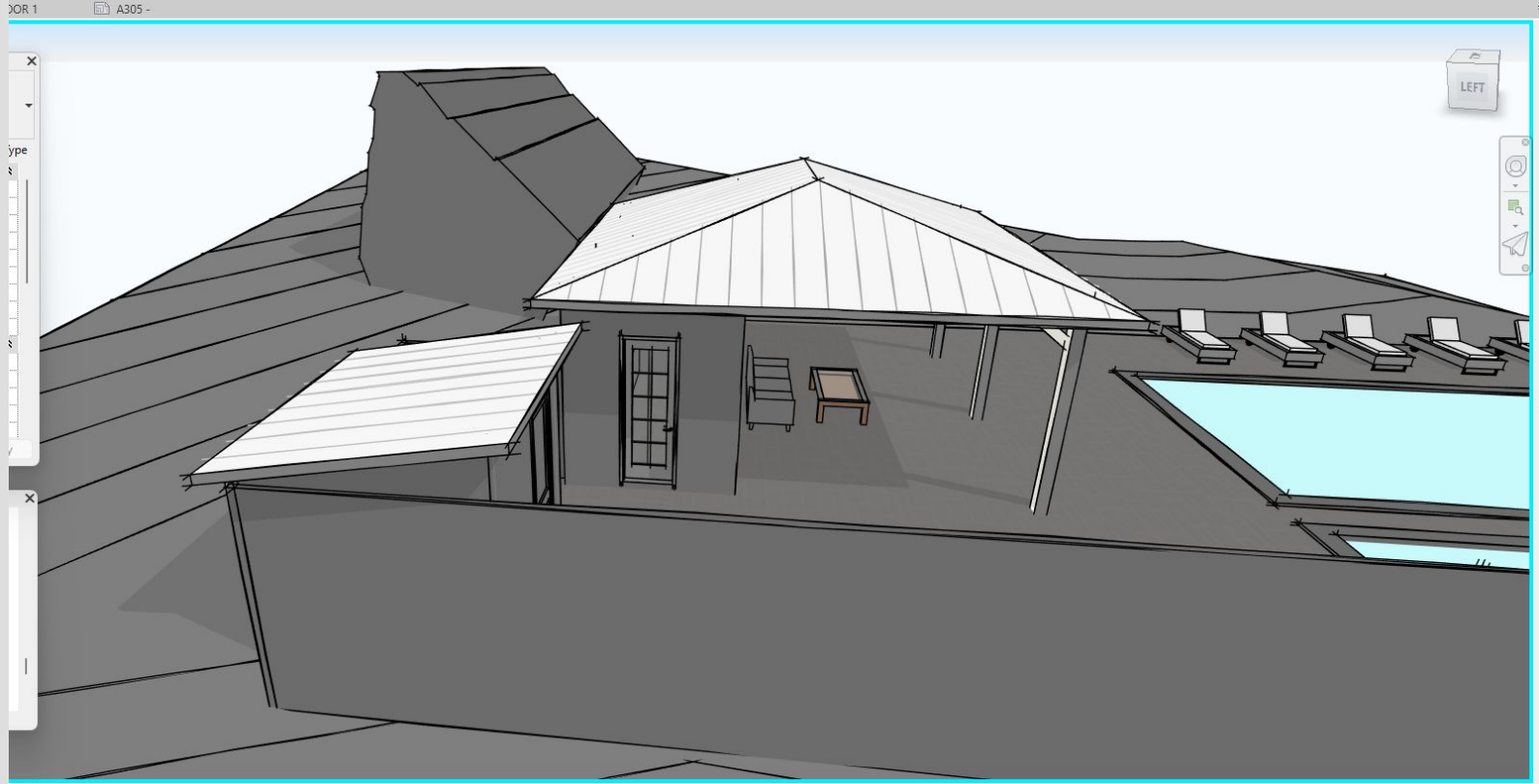
New design



Application Information

Case # HZ-23-165

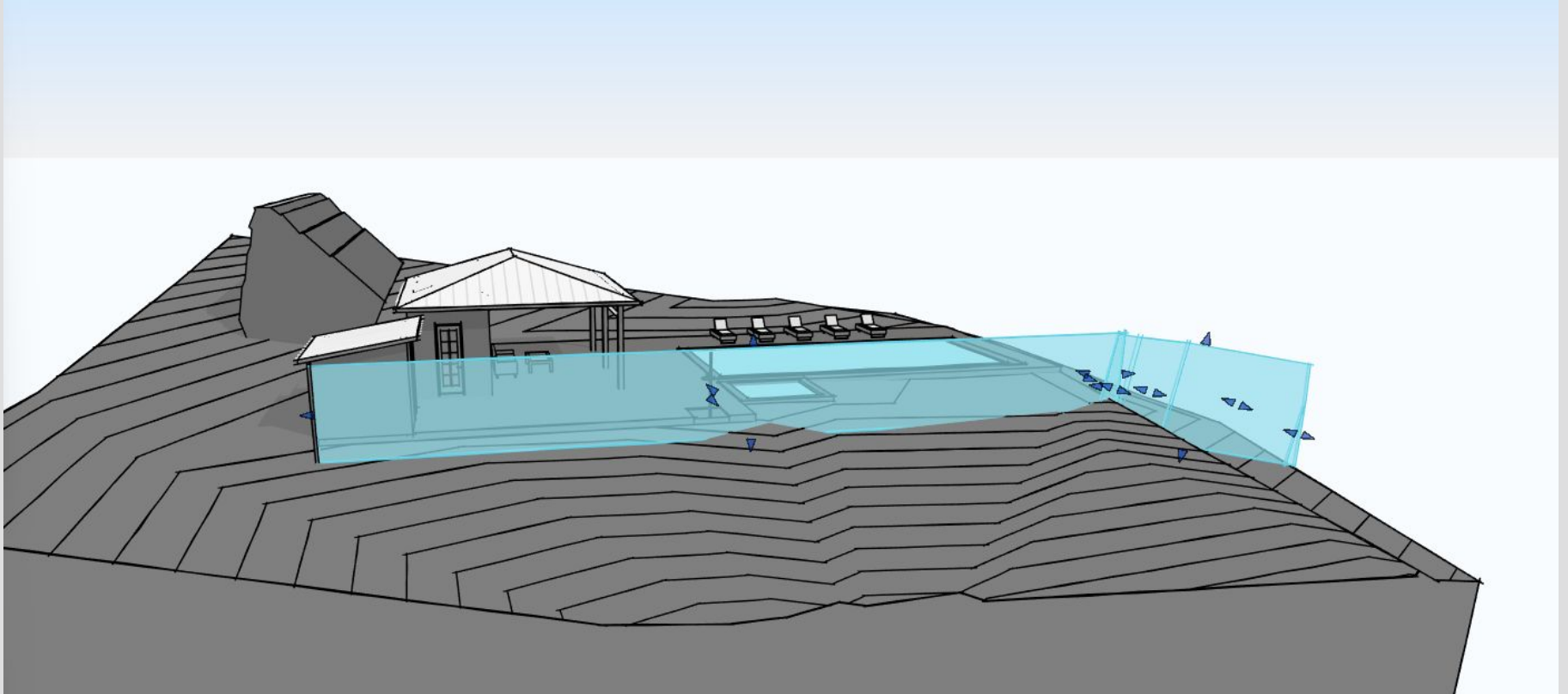
4505 Alabama Avenue



Application Information

Case # HZ-23-165

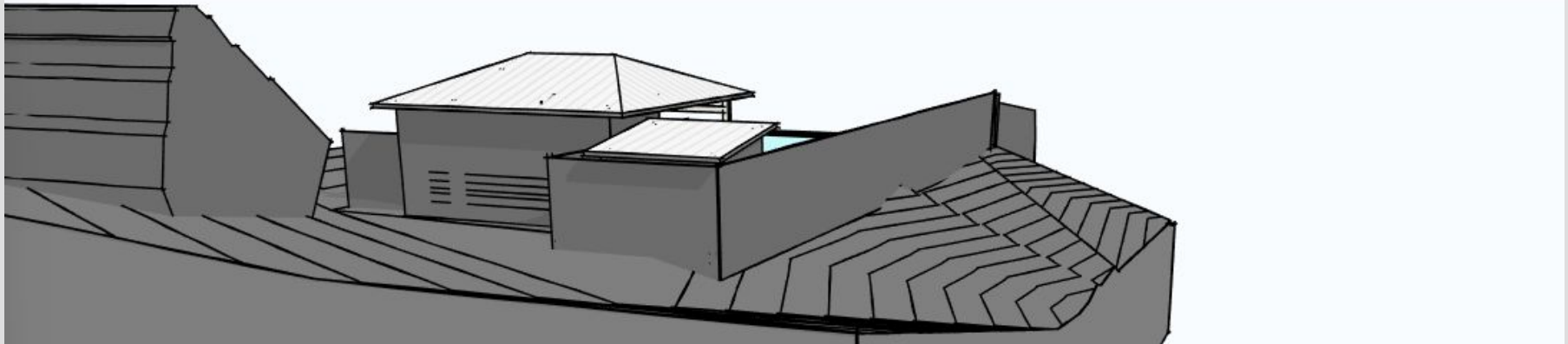
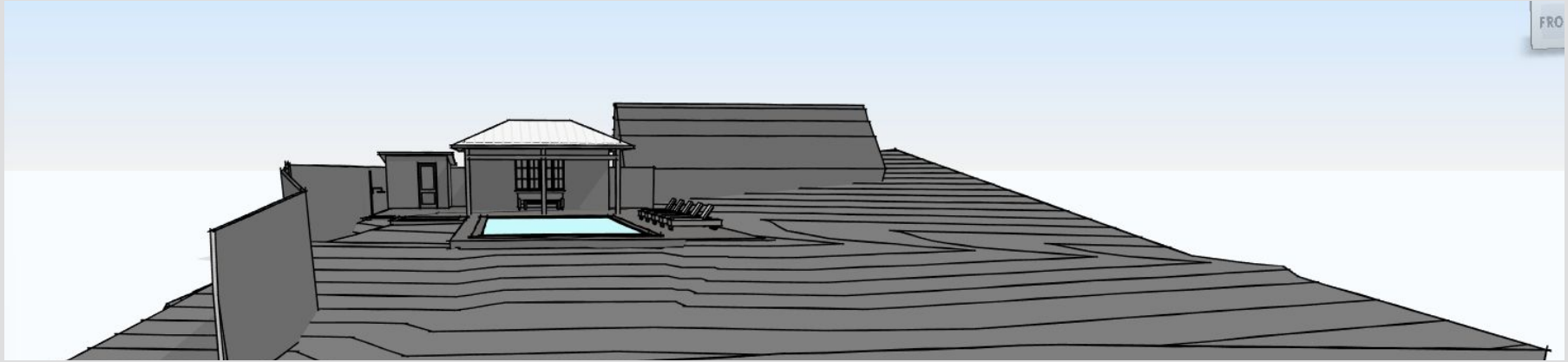
4505 Alabama Avenue



Application Information

Case # HZ-23-165

4505 Alabama Avenue



Material List

Case # HZ-23-165

4505 Alabama Avenue

FARMER POOL HOUSE MATERIAL LIST

24'8" wide by 9 deep pool house with 15 ft covered seating and pool equipment shed beside.

One transom on backside up high

Structure 18 feet high to ridge, 9 ft to fascia

2 feet over hang on sides and rear

Siding: cementboard to match house and garage

Roofing: metal or asphalt

Posts wood

Pair of 15 lite French doors, aluminum clad wood doors, aluminum clad wood

Relevant Saint Elmo Guidelines:


Case # HZ-23-156, 4505 Alabama Avenue

6.22 New Construction, Page 52

Staff Report

C. Of secondary buildings such as garages, carports, and other outbuildings should be:

1. Smaller in scale than the primary building; **Yes. The applicant has added a second storage and pump house structure. The renderings do not match the site plan provided. Applicant to confirm proposed design of the storage and pump house structure.**
2. Simple in design but reflecting the general character of the primary building. For example, use gable roof forms if the main dwelling has a gable roof, hipped roof forms if the main dwelling has a hipped roof etc.; **Yes, simple design and a hipped roof which can be found on the primary dwelling.**
3. Located as traditional for the street, near an alley or at the side of the dwelling, not close to or attached to the primary building; **Yes.**
4. Compatible in design, shape, materials, and roof shape to the main building. **Roof form is hipped which can be found on the primary dwelling.**
5. Preferably of wood siding. However, if located along rear alleys or towards the rear of the lot, secondary buildings may have exterior siding materials such as masonite (preferred), aluminum, or vinyl. Along rear alleys or rear lot lines, standard prefabricated buildings are also acceptable. **The applicant is proposing cement lap siding to match the primary dwelling.**
6. If readily visible from the street, secondary buildings should have an emphasis on historic designs and detailing. For garages wood paneled doors are more appropriate than paneled doors of vinyl, aluminum, or steel. Wood paneled overhead roll-up doors are widely available and are appropriate for new garages. **The pool house is partially visible from Guild Trail.**



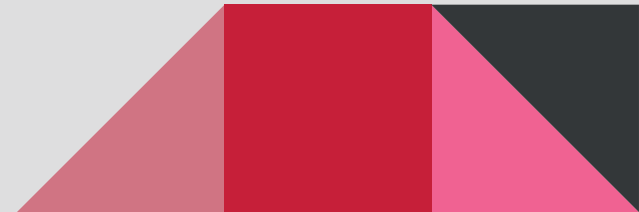
Case # HZ-23-165
4505 Alabama Ave.


Applicant Presentation (10 minutes maximum)

Community Comments & Comments by Other Persons

(3 minutes maximum per person)

Case # HZ-23-165
4505 Alabama Ave.





Case # HZ-23-165
4505 Alabama Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-24-128

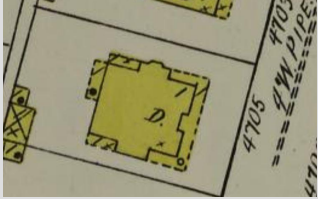
4705 St. Elmo Avenue

Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1895

Description of proposed project: Reconstruct Front Porch

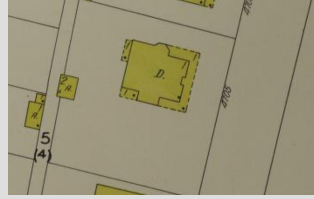
(157) 4705 St. Elmo Ave. (Between 1889-04): Rectangular, 1½ stories, frame, hipped and gabled roof, transom and sidelights at door.



1917



1930



1955



Historic Zoning History:

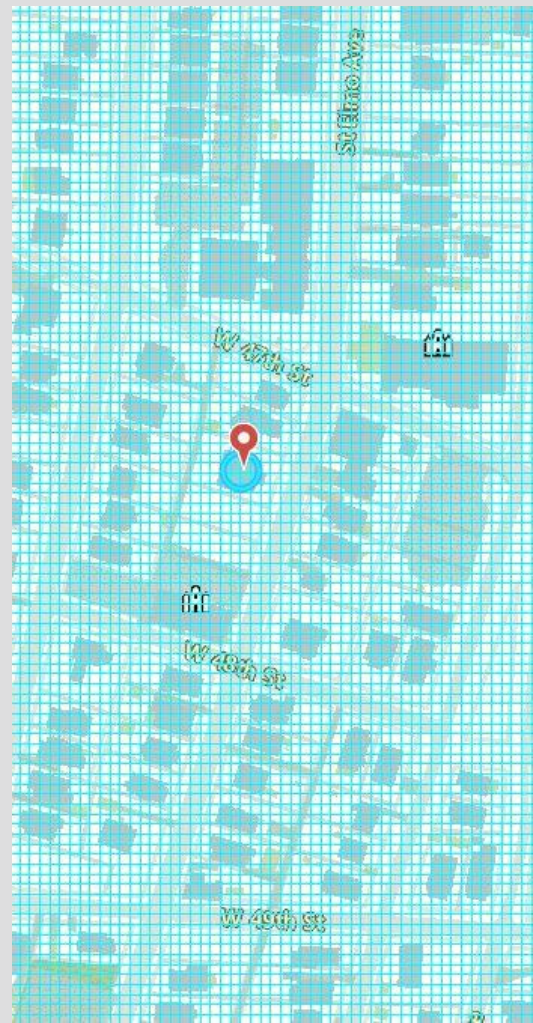
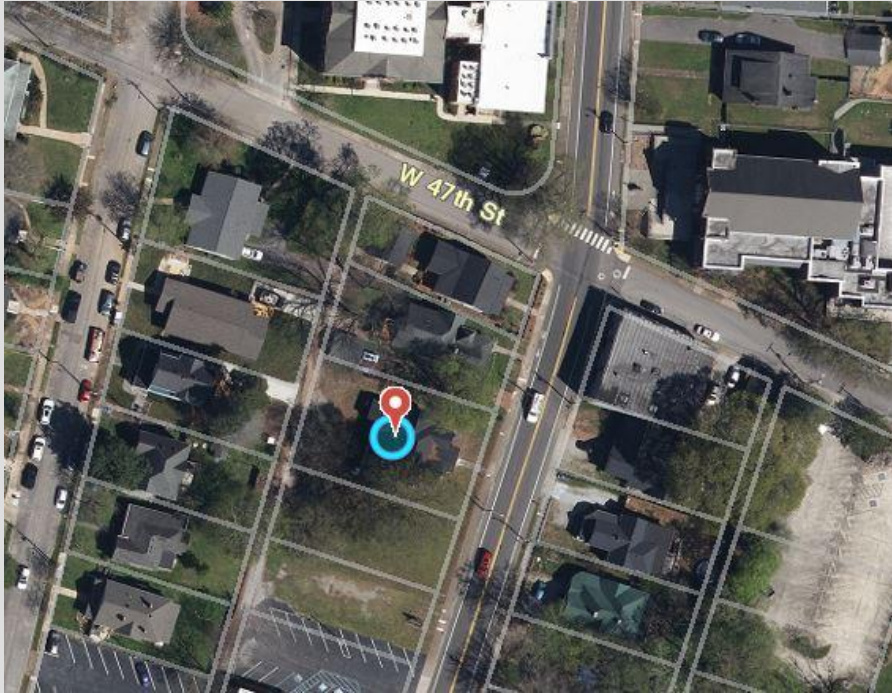
HZ-13-0096: Install temporary ADA ramp.

HZ-24-128: Addition/Dormer

Map Location

Case # HZ-24-128

4705 St. Elmo Ave.



Property Photos

Case # HZ-24-128
4705 St. Elmo Ave.



Property Photos

Case # HZ-24-128
4705 St. Elmo Ave.



Property Photos

Case # HZ-24-128
4705 St. Elmo Ave.



Property Photos

Case # HZ-24-128
4705 St. Elmo Ave.



Property Photos

Case # HZ-24-128
4705 St. Elmo Ave.



Property Photos

Case # HZ-24-128
4705 St. Elmo Ave.



Property Photos

Case # HZ-24-128
4705 St. Elmo Ave.



Neighboring Property Photos

Case # HZ-24-128

4705 St. Elmo Ave.



Neighboring Property Photos

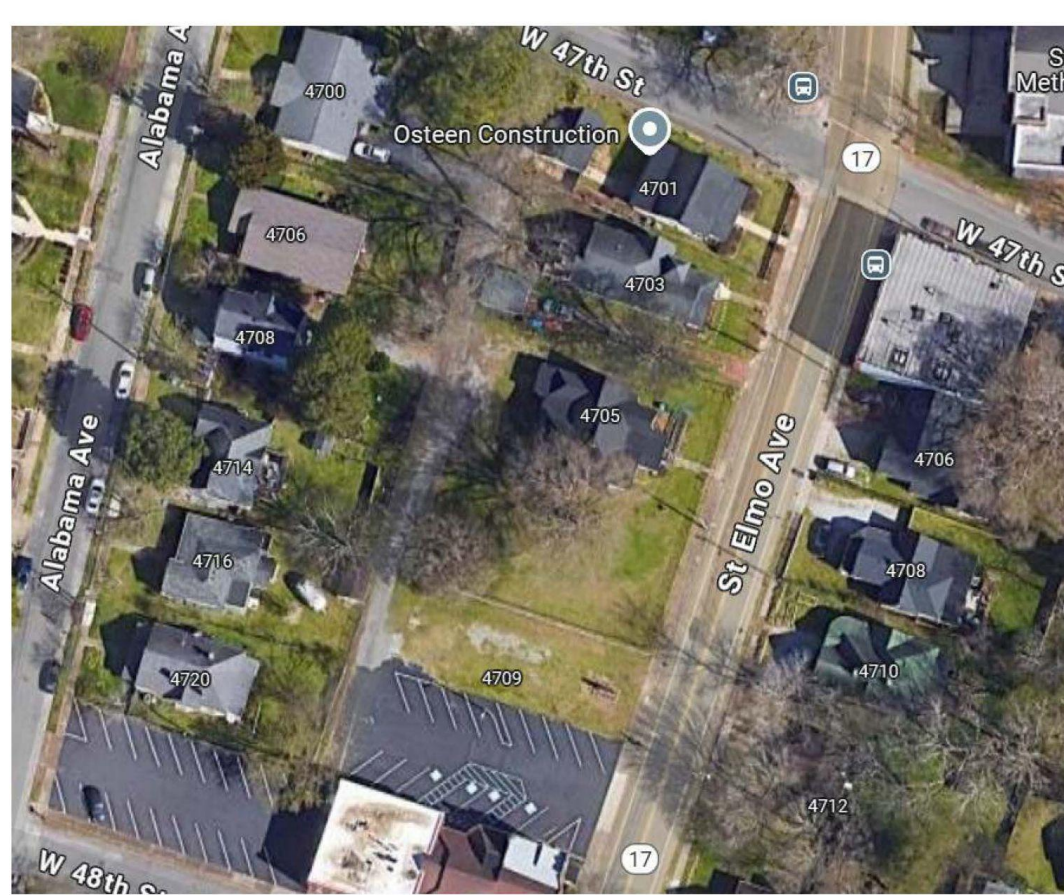
Case # HZ-24-128

4705 St. Elmo Ave.



Application Information

Case # HZ-24-128
4705 St. Elmo Ave.

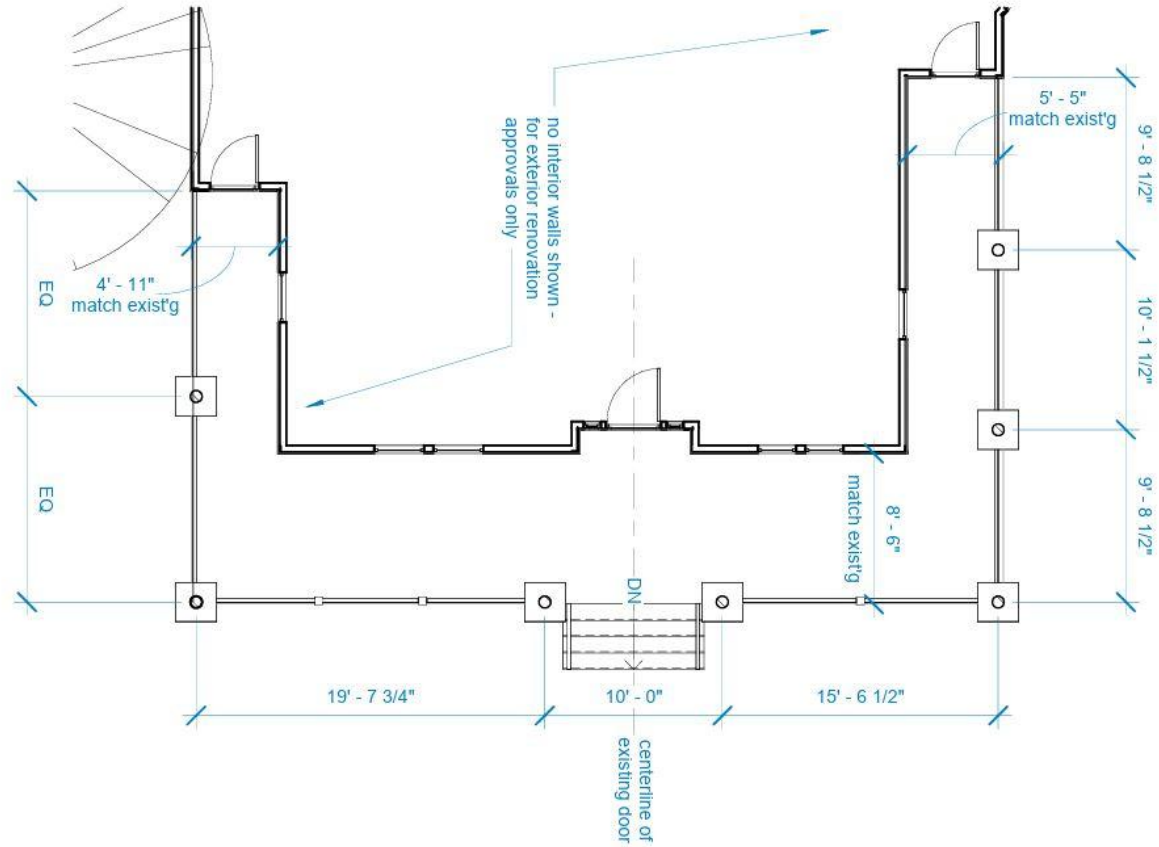


4705 ST ELMO AVENUE



Application Information

Case # HZ-24-128
4705 St. Elmo Ave.



Application Information

Case # HZ-24-128

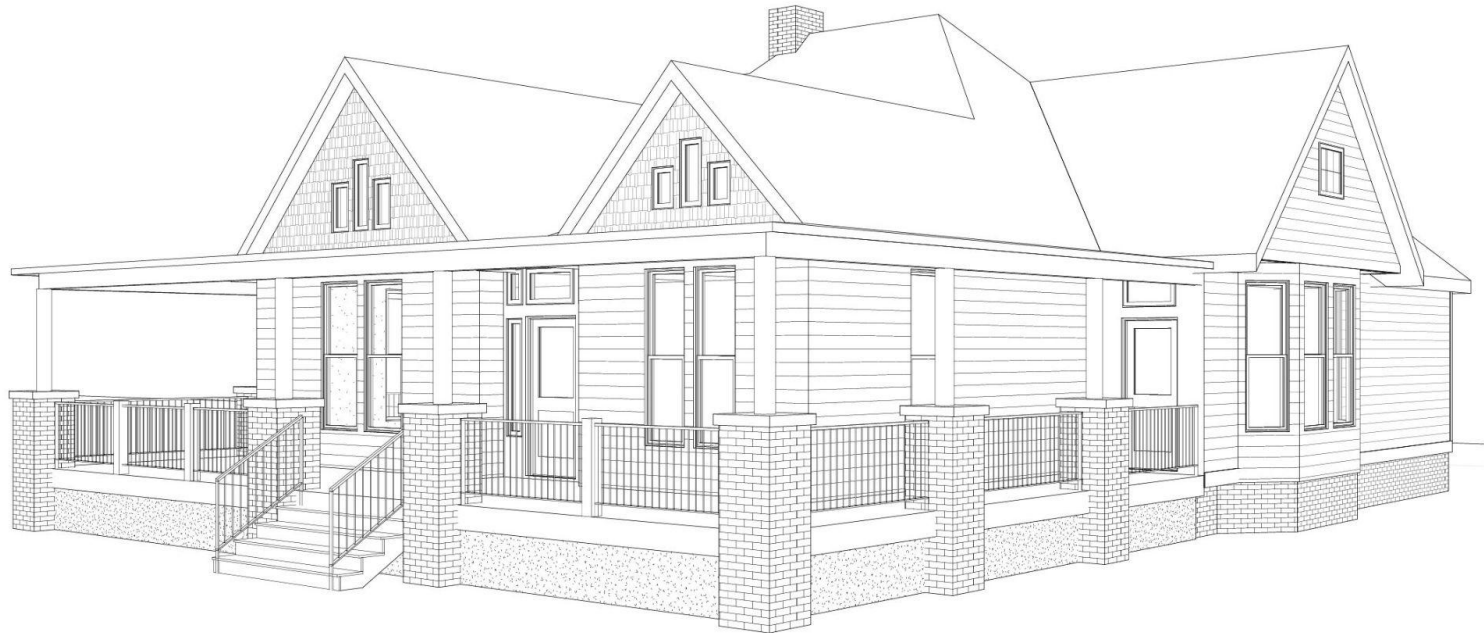
4705 St. Elmo Ave.



Application Information

Case # HZ-24-128

4705 St. Elmo Ave.



Application Information

Case # HZ-24-128

4705 St. Elmo Ave.



Material List

Case # HZ-24-128

4705 St. Elmo Ave.

MATERIAL LIST:

- PRESSURE TREATED WOOD TONGUE AND GROOVE DECKING AT PORCH.
- BRICK COLUMN BASE WITH STONE CAP TO MATCH EXISTING CONSTRUCTION (42" AFF TO TOP OF STONE CAP, 24"X24" BRICK COLUMN, 1 1/2" OVERHANG AT 4" THICK STONE CAP). 8" DIAMETER COLUMNS - DORIC PROFILE TO MATCH EXISTING.
- 1x12 HORIZONTAL SIDING AT PORCH SKIRTING
- ROLL ROOFING (DUE TO LOW SLOPE) - SLOPE MATCHES EXISTING PORCHES.
- BEADBOARD CEILING AT PORCH
- PRESSURE TREATED WOOD RAILING. NOMINAL 2X2 BALUSTERS

(NOTE: EXISTING TRIM AT WINDOWS, DOORS, AND SIDING TO REMAIN AT HOUSE.)

Relevant Saint Elmo Guidelines:

Case # HZ-24-128, 4705 St. Elmo Ave.

6.25 Porches, Porch Columns and Railings, Page 59

Staff Report

25. Porches, Porch Columns and Railings

Porches are one of the most important defining characteristics of a pre-1945 building. Original porches should be repaired and maintained. Those on the fronts of buildings should not be enclosed with wood or glass panels. The screening of porches on the fronts of buildings is appropriate. If replacement of porch elements is required, use materials to closely match those which exist. **If the original porch is missing, construct a new porch based upon photographic or physical evidence, or base the design upon historic porches of district buildings built at the same period and in similar architectural style. The applicant is proposing constructing a new porch to match the original footprint of the wrap around porch shown on the Sanborn Maps. The porch will be 8' 6" in depth and 8' floor to ceiling height.** In some cases turn of the century dwellings had their original porches removed and replaced with Craftsman/Bungalow style porches in the 1920s and 1930s. If desired, these Craftsman/Bungalow porches may be replaced with porches in keeping with the original design.

- A. On front and side facades should be maintained in their original configuration and with original materials and detailing.
- B. Should not be removed if original. **The existing front porch is not original based on the Sanborn maps. The original wrap around porch was shown until at least 1955.**
- C. And their details should be retained intact with repair work and replacement of missing parts, such as columns, posts, railings, balusters, decorative molding and trim work, to match the original in design, materials, scale, and placement.
- D. On the fronts of dwellings should not be enclosed.
- E. On the rear and sides of dwellings may be enclosed when not readily visible from the street and if the height and shape of the porch roof is maintained.
- F. Should have wood steps, not brick or concrete, for buildings with wood porch floors. Although not as appropriate, brick or pre-cast concrete steps may be added to front porches. **Applicant to confirm materials for steps. The drawing appears to show wooden steps.**
- G. May be screened if the structural framework for the screen panels is minimal and the open appearance of the porch is maintained. Wood Framing for the screen panels is preferred; however, anodized or baked enamel aluminum frames are also acceptable. The use of "raw" or silver aluminum framing is not appropriate.
- J. Should have wood tongue and groove flooring running perpendicular to the façade (unless the original floor is concrete). **Applicant is proposing tongue and groove flooring.**
- K. Should not have brick floors or steps.

Staff Report

Case # HZ-24-128, 4705 St. Elmo Ave.

25. Porches, Porch Columns and Railings Cont...

Historic porch columns and railings should be retained and repaired with materials to match the original. If the original porch columns and railings are missing, replacement porch columns and railings should be appropriate for the dwelling's architectural style and period. **The applicant is proposing 2"x2" square balusters, 8" doric columns to match the existing, and brick foundation and posts.**

A. Should be preserved and maintained. If repair is required, use materials to match the original in dimensions and detailing.


B. Often deteriorate first at the bottom next to the porch floor. If this is the case, consider sawing off the deteriorated area and replacing this section rather than replacing the entire column.

C. Of aluminum, wrought iron, or other modern materials are not appropriate for front porches. These types of columns are not preferred but are acceptable for porches at the rear of a dwelling or for side porches which are not readily visible from the street.

D. On front porches should be rebuilt in historic designs if the original columns and railings are missing. For Queen Anne and Folk Victorian styles of the turn of the century, milled porch columns are appropriate and are readily available from wholesale companies. These porch columns are generally 8' in height and have widths and depths of 4". **The applicant is proposing 8" diameter doric columns.** For Craftsman/Bungalow porches round, square, or tapered square wood columns are best. Although generally not available at wholesale hardware stores, they can be ordered from milling companies. These columns should fit the porch height and if round, have diameters of no less than 6" and no more than 10". Square columns or tapered square columns should be a minimum of 8" and a maximum of 10" in depth and width.

E. On front porches may require new newel posts. Porch newel posts in historic designs are readily available and are generally 4' high and measure 4" in width and depth. The "ball top" newel post is best for Queen Anne or Folk Victorian porches. The "V-Groove" post is acceptable for Queen Anne, Folk Victorian, and Craftsman/Bungalow dwellings. **The applicant is proposing the 2"x2" square balustrade to continue down the front steps without a distinctive newel post.** Avoid the "French Gothic" post which is not as appropriate for the houses in St. Elmo.

F. On front porches may require new balusters for the railing. Porch balusters (also called spindles) are readily available in historic designs from wholesale hardware stores. The milled spindles measuring 3' high and 2" in diameter are best for Queen Anne and Folk Victorian Dwellings. **The applicant is proposing 2"x2" square balusters.** Square balusters which are 3' high and 2" in width and depth are best for Craftsman/Bungalow dwellings. The "jumbo" balusters or spindles which measure 3"x3" or 4"x4" are too large and should not be added to front porches or porches readily visible from the street.




Case # HZ-24-128
4705 St. Elmo Ave.

Applicant Presentation (10 minutes maximum)

Case # HZ-24-128
4705 St. Elmo Ave.

Community Comments & Comments by Other Persons
(3 minutes maximum per person)





Case # HZ-24-128
4705 St. Elmo Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**



New Business

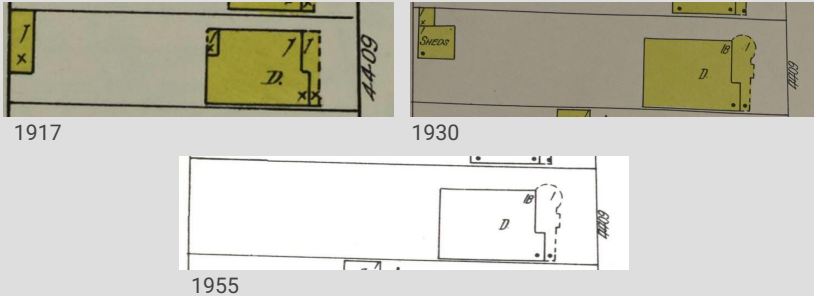
Case # HZ-25-12

4409 Tennessee Avenue

Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1917

Description of proposed project: Detached Garage and Parking



Historic Zoning History:

HZ-16-46: Fence

HZ-15-108: Fence

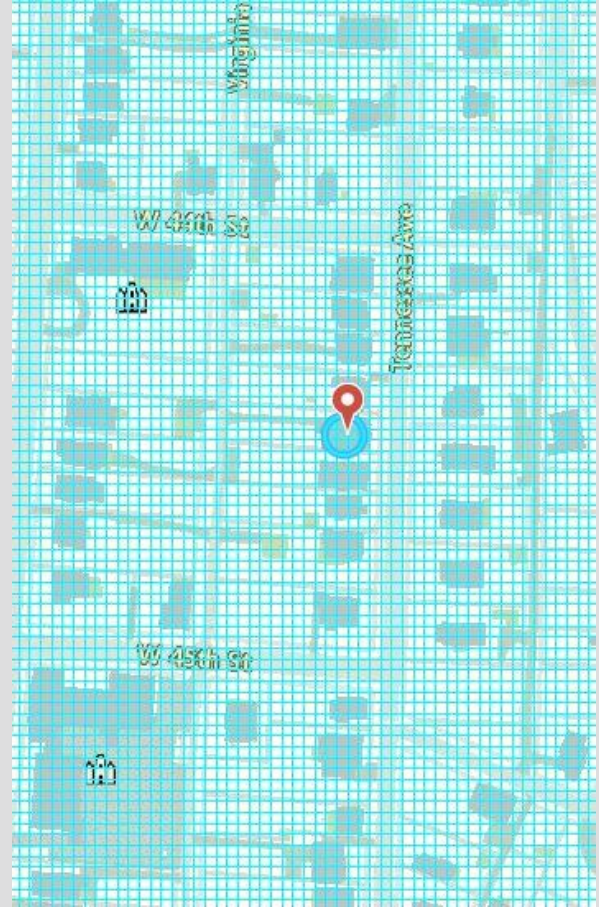
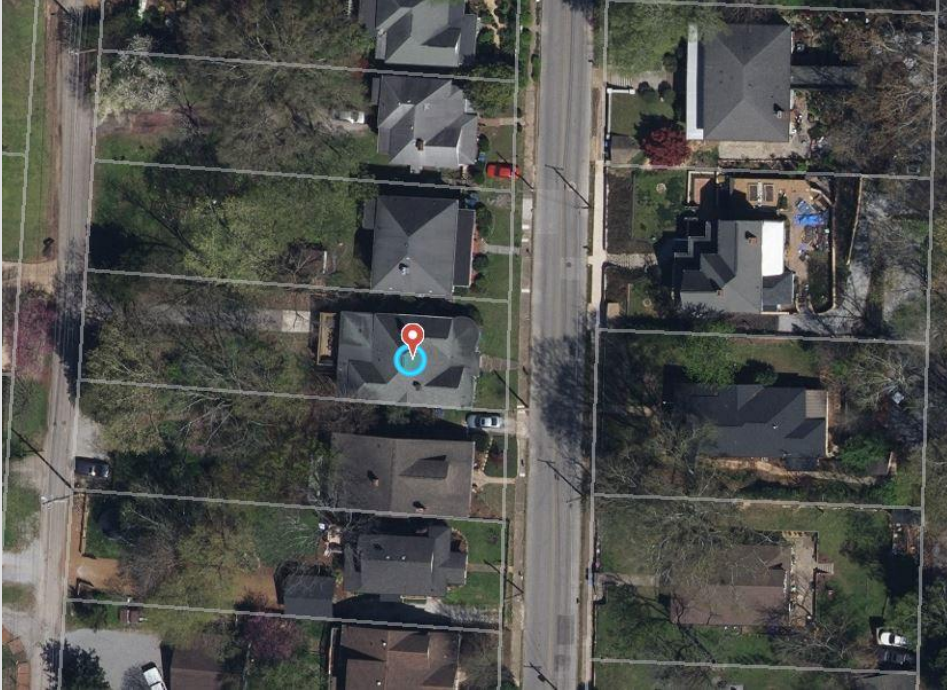
HZ-15-41: Windows, Remove Back Porch, New Deck

HZ-15-26: New Roof

Map Location

Case # HZ-25-12

4409 Tennessee Ave.



Property Photos

Case # HZ-25-12

4409 Tennessee Ave.



Property Photos

Case # HZ-25-12

4409 Tennessee Ave.



Property Photos

Case # HZ-25-12

4409 Tennessee Ave.



Neighboring Property Photos

Case # HZ-25-12

4409 Tennessee Ave.



Neighboring Property Photos

Case # HZ-25-12

4409 Tennessee Ave.



Neighboring Property Photos

Case # HZ-25-12

4409 Tennessee Ave.



Neighboring Property Photos

Case # HZ-25-12

4409 Tennessee Ave.



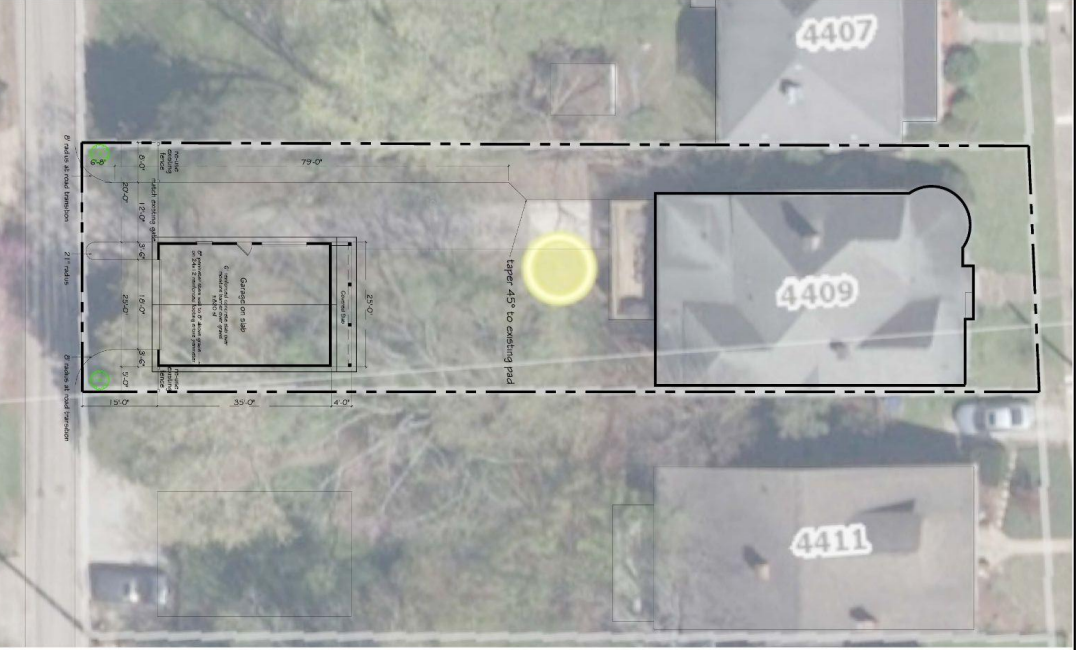
Application Information

Case # HZ-25-12
4409 Tennessee Ave.

scale:
1/8" = 1'-0"



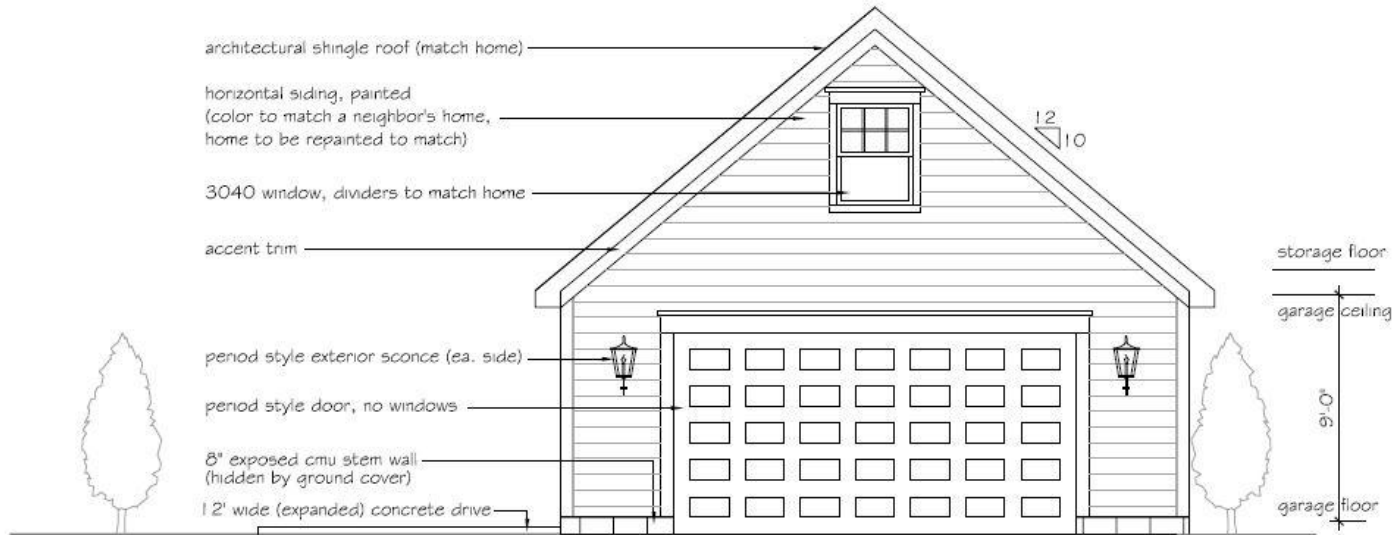
Site Plan



Application Information

Case # HZ-25-12

4409 Tennessee Ave.



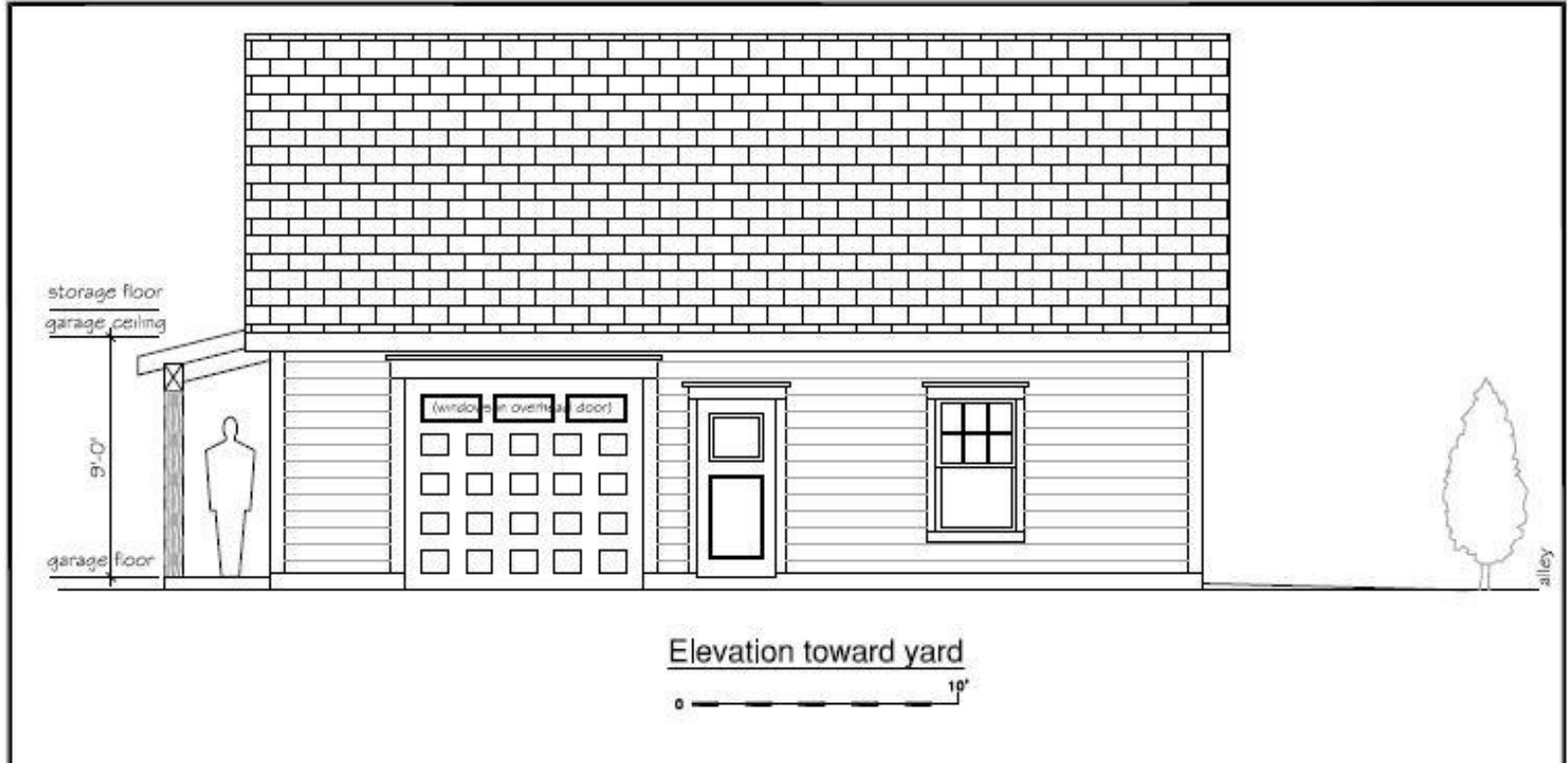
Elevation toward alley



Application Information

Case # HZ-25-12

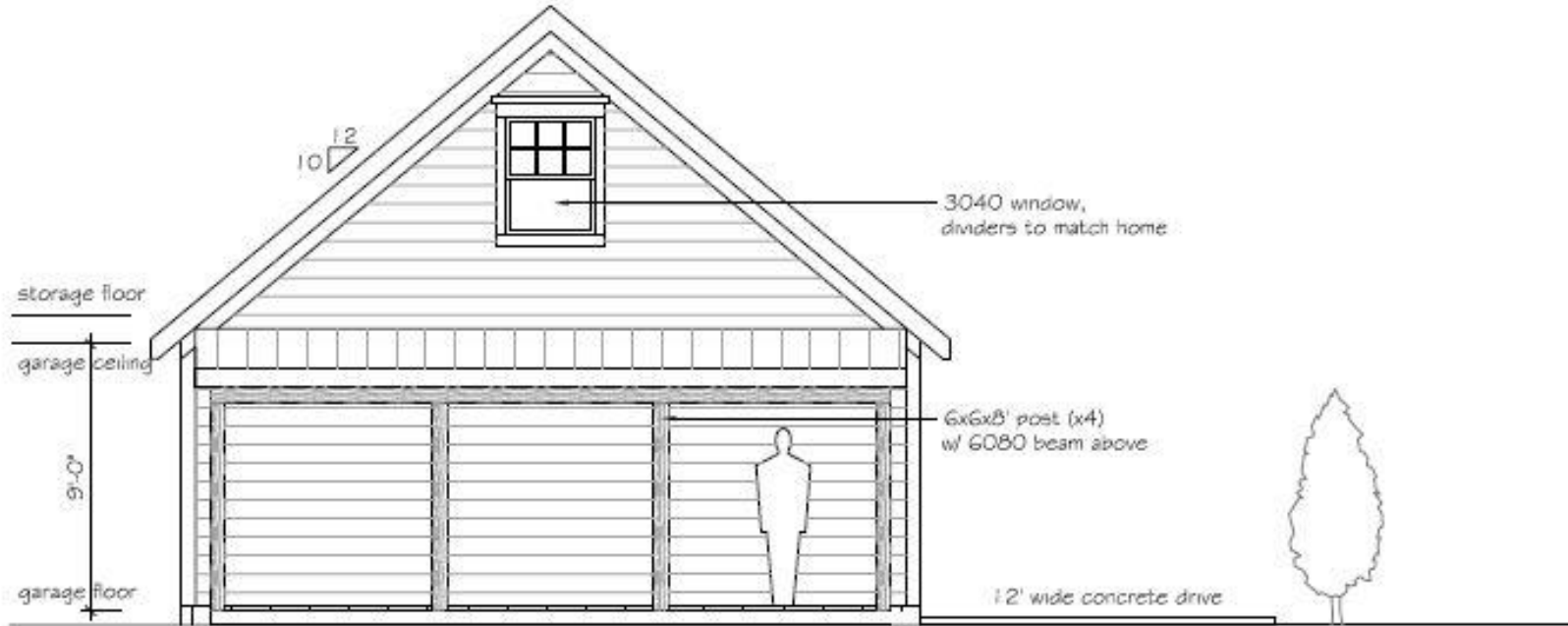
4409 Tennessee Ave.



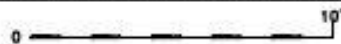
Application Information

Case # HZ-25-12

4409 Tennessee Ave.



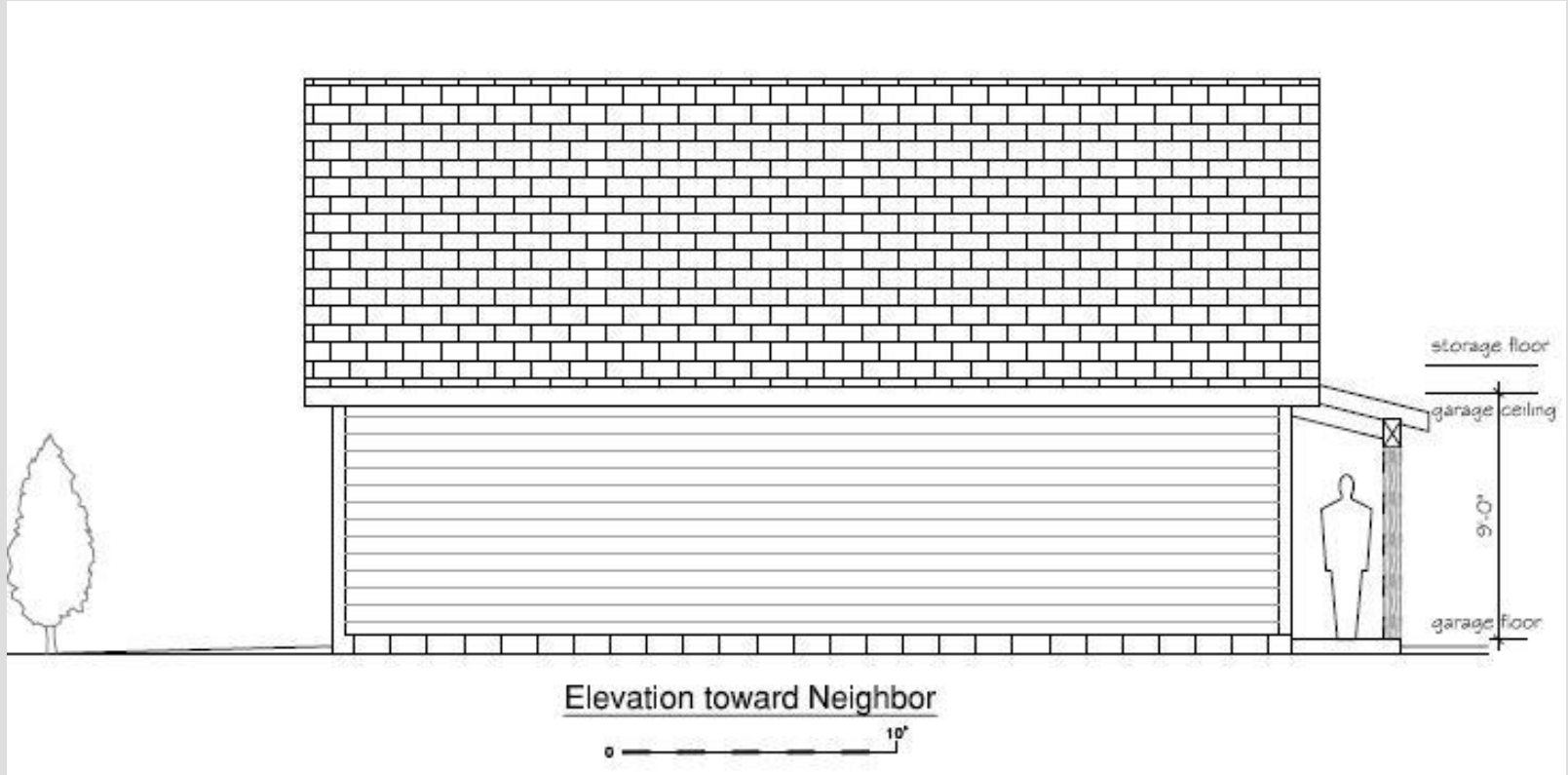
Elevation toward home



Application Information

Case # HZ-25-12

4409 Tennessee Ave.



Material List

Case # HZ-25-12

4409 Tennessee Ave.

Materials list for a freestanding garage planned for 4409 Tennessee Avenue:

Reinforced concrete footing, 24" wide x 12" deep, with vertical rebar to 12". 2 courses of 8" cmu block with a 4" solid concrete cap. A 2x16 treated wood sill perimeter, with a 2x6 wood stud wall (single sole plate w/ double top plate, studs @ 16" o.c.). 24' x 12" engineered beams will span from side to side for the ceiling/storage floor (3/4" plywood) above. The roof will have 2x8 wood roof rafters with finish roofing (1/2" plywood w/ roof paper & architectural shingles). The exterior of the stud walls will be wrapped with building paper and then insulation board to which the horizontal siding will be attached. The floor will be a broom swept reinforced concrete, 6" at thickest points and sloped to drain to the doorways. The slab will have a moisture barrier/insulation below with gravel below that. The horizontal siding will be painted to match a color already approved in the neighborhood and the accent trim will match the existing as well. Doors, windows, and lighting designs will be "period oriented" to match the character of St. Elmo.

- Concrete footing, cmu stem wall, wood stud walls with horizontal siding, wood joists and floor decking, wood roof w/ architectural asphalt shingles, concrete slab floor.

Relevant Saint Elmo Guidelines:

Case # HZ-25-12, 4409 Tennessee Ave.

6.9 Driveways + Paving, Page 41

6.22 New Construction, Page 52

Staff Report

9. Driveways & Paving

Access to the buildings in St. Elmo is generally from rear alleys and new driveways for buildings should also be added at the rear of the lot. The popularity of the Craftsman/Bungalow style coincided with the rise in automobile ownership and many of these dwellings have side lot driveways and original garages. Within the district historic driveway materials such as concrete should be preserved and new driveways should be designed with traditional materials and placement.

A. And their original designs, materials, and placement should be preserved.

B. Which are new, should be located at the rear with access from the alley. **The applicant is proposing a new curb cut to the proposed garage and repaving the existing driveway. Both driveways are located off the alley.**

C. In the front or side yards should be of gravel (white or pea gravel), concrete, or concrete tracks (narrow strips). Blacktop or asphalt driveways may be approved but this material is not traditional to the neighborhood and should be avoided. **The existing driveway will increase by 2' in width. Both driveways will be concrete.**

D. Should have their parking areas located in the rear yard nearer the alley than the building and screened with hedges, shrubs, or fences where noticeable from the street. **The driveways will both be located at the rear off the alley. The yard is currently screened with a fence.**

E. Of semi-circular design should not be sited in front yards.


F. Requiring new curb cuts to access driveways and parking lots should be kept to a minimum. The addition of curb cuts usually results in the removal of historic sidewalk materials, curbs, and retaining walls. Access through rear alleys is better than adding new curb cuts. Traditional paving materials for driveways include gravel and concrete which are more appropriate materials than aggregate or asphalt. Textured concrete designed to look like brick pavers is also an appropriate material. **The applicant is proposing a new curb cut to the proposed garage and repaving the existing driveway. Both driveways are located off the alley. The existing driveway will increase by 2' in width. Both driveways will be concrete.**

Staff Report

Case # HZ-25-12, 4409 Tennessee Ave.

C. Of secondary buildings such as garages, carports, and other outbuildings should be:

1. Smaller in scale than the primary building; **Yes.**
2. Simple in design but reflecting the general character of the primary building. For example, use gable roof forms if the main dwelling has a gable roof, hipped roof forms if the main dwelling has a hipped roof etc.; **Yes, the proposed garage has a gable roof like the primary dwelling.**
3. Located as traditional for the street, near an alley or at the side of the dwelling, not close to or attached to the primary building; **Yes.**
4. Compatible in design, shape, materials, and roof shape to the main building. **Yes.**
5. Preferably of wood siding. However, if located along rear alleys or towards the rear of the lot, secondary buildings may have exterior siding materials such as masonite (preferred), aluminum, or vinyl. Along rear alleys or rear lot lines, standard prefabricated buildings are also acceptable. **The applicant is proposing horizontal siding (applicant to confirm material).**
6. If readily visible from the street, secondary buildings should have an emphasis on historic designs and detailing. For garages wood paneled doors are more appropriate than paneled doors of vinyl, aluminum, or steel. Wood paneled overhead roll-up doors are widely available and are appropriate for new garages. **The applicant is proposing “accent trim”, “period style” garage door, “period style” sconces, and windows to match the primary dwelling. Applicant to confirm materials and detailing for overhead doors and lighting.**




Case # HZ-25-12
4409 Tennessee Ave.

Applicant Presentation (10 minutes maximum)

Case # HZ-25-12
4409 Tennessee Ave.

Community Comments & Comments by Other Persons
(3 minutes maximum per person)





Case # HZ-25-12
4409 Tennessee Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

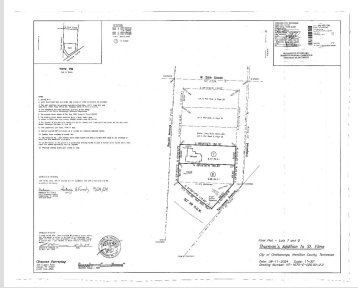
Case # HZ-25-18

5508 Beulah Avenue

Neighborhood: St. Elmo

Historic Structure: No, vacant lot

Description of proposed project: New Construction

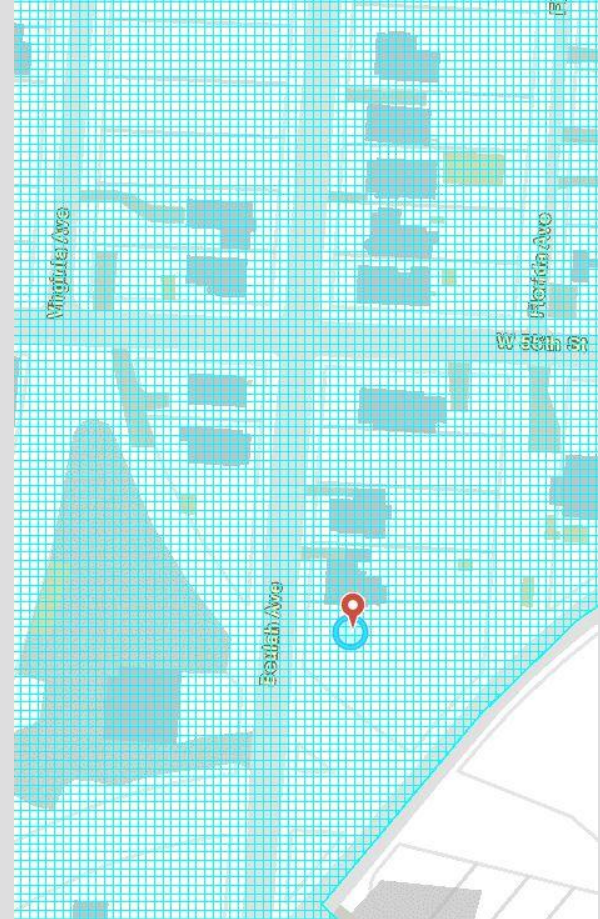
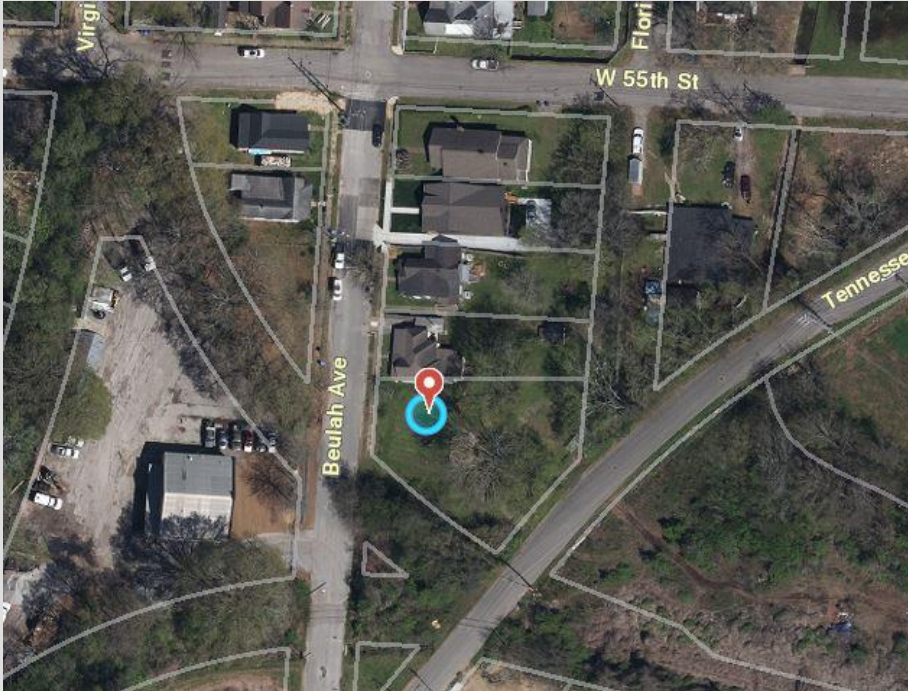


Historic Zoning History:

None

Map Location

Case # HZ-25-18
5508 Beulah Ave.



Property Photos

Case # HZ-25-18
5508 Beulah Ave.



Property Photos

Case # HZ-25-18
5508 Beulah Ave.



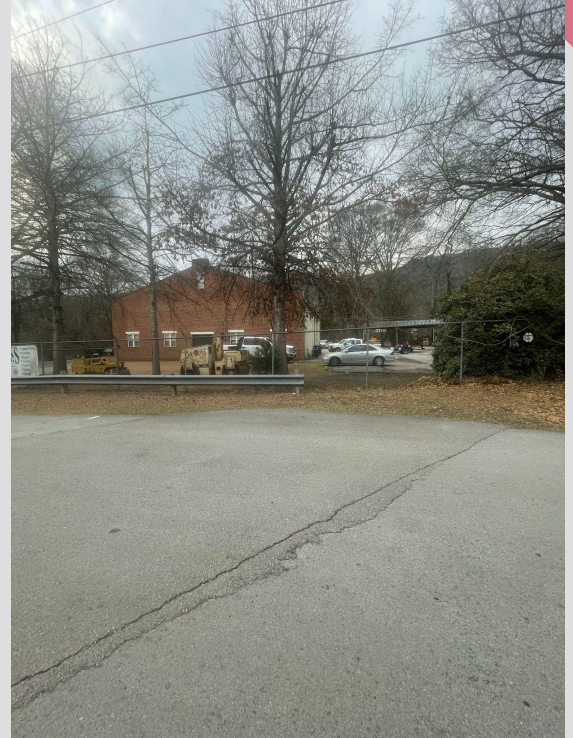
Neighboring Property Photos

Case # HZ-25-18
5508 Beulah Ave.



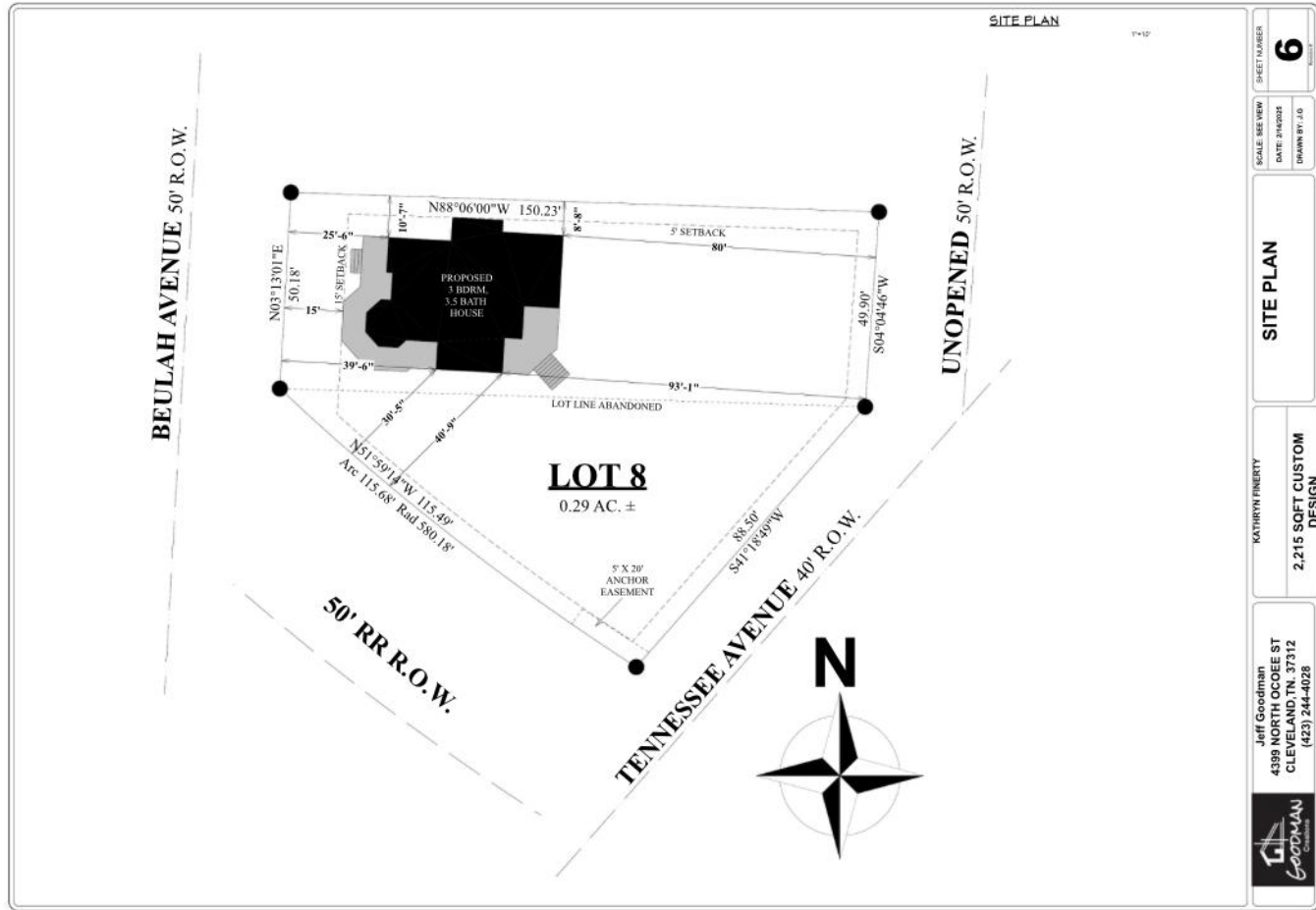
Neighboring Property Photos

Case # HZ-25-18
5508 Beulah Ave.



Application Information

Case # HZ-25-18
5508 Beulah Ave.



Application Information

Case # HZ-25-18
5508 Beulah Ave.



FINERTY-BUTTS RESIDENCE

5508 BEULAH AVENUE CHATTANOOGA, TN 37409

2,215 sq ft

Application Information

Case # HZ-25-18
5508 Beulah Ave.



FINERTY-BUTTS RESIDENCE

5508 BEULAH AVENUE CHATTANOOGA, TN 37409
2,215 sq ft



SCALE: SEE VIEW
DATE: #/4/25
DRAWN BY: JG

SHEET NUMBER
2
OF 2

PRESENTATION VIEWS
FOR ILLUSTRATION ONLY, NO SCALE

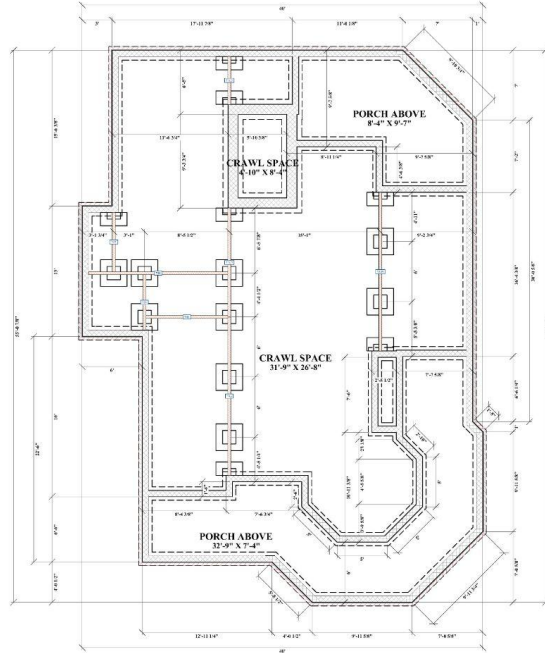
KATHRYN FINERTY
2,215 SQFT CUSTOM
DESIGN

Jeff Goodman
4389 NORTH OCOEE ST
CLEVELAND, TN 37312
(423) 244-4028



Application Information

Case # HZ-25-18
5508 Beulah Ave.



FOUNDATION PLAN

1/4"=1'

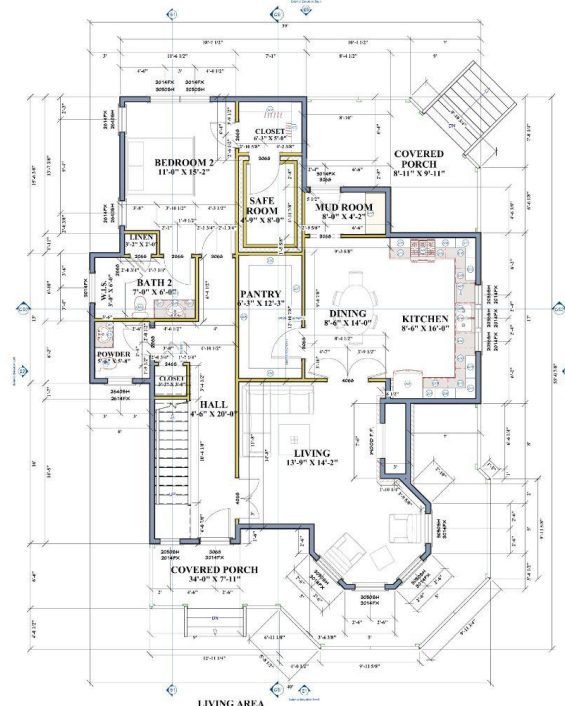
SQUARE FOOTAGE

FIRST FLOOR
CONDITIONED-HEATED - 1322
PORCHES/DECKS-511

SECOND FLOOR
CONDITIONED-HEATED - 678
TERRACE - 113

TOTAL CONDITIONED SPACE - 2219
TOTAL UNCONDITIONED SPACE - 621
TOTAL SQ.FT. - 2840

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LIVING AREA
1322 SQ FT

MAIN FLOOR

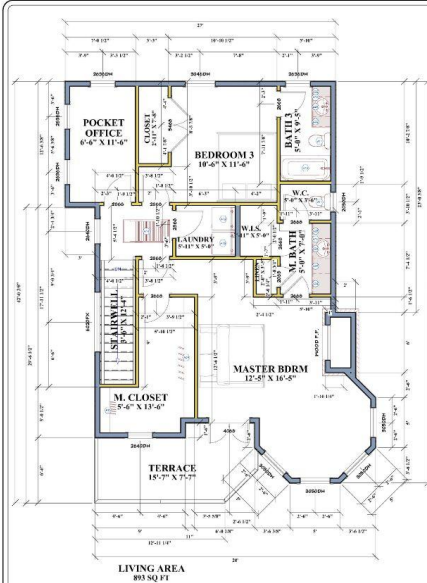
8' C.H. THROUGHOUT UNLESS OTHERWISE NOTED

1/4"=1'

| | |
|--|--------------|
| SCALE: SEE VIEW | SHEET NUMBER |
| DATE: 04/08/2025 | 7 |
| DRAWN BY: JAG | |
| FOUNDATION/FLOOR PLAN | |
| KATHRYN FINERY | |
| 2,215 SQFT CUSTOM DESIGN | |
| Jeff Goodiron 4390 NORTH OREGON ST CLEVELAND, OH 44132 (423) 244-4028 | |
| | |

Application Information

Case # HZ-25-18
5508 Beulah Ave.



2ND FLOOR

8' C.I. THROUGHOUT UNLESS OTHERWISE NOTED. 1/4\"/>

SQUARE FOOTAGE

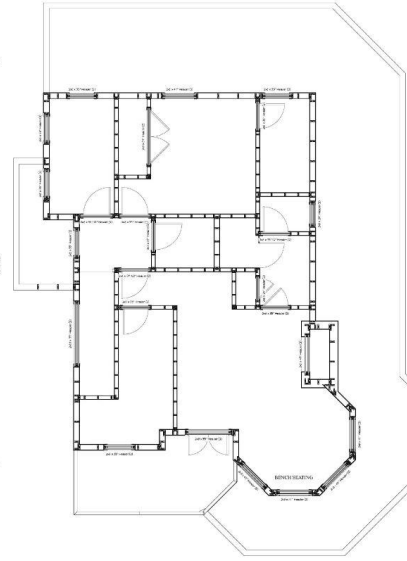
FIRST FLOOR
CONDITIONED/HEATED - 1022
PORCHES/DECKS-511

SECOND FLOOR
CONDITIONED/HEATED - 810
TERRACE - 110

TOTAL CONDITIONED SPACE -2215
TOTAL UNCONDITIONED SPACE -621
TOTAL SFT - 2836

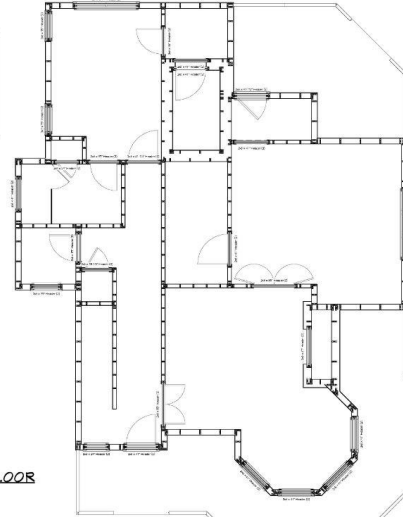
REFER TO FRAMING NOTED FOR CONSTRUCTION. FRAMING PLANS ARE FOR BASIC PURPOSES AND RECOMMENDED FOR REVIEW BY STRUCTURAL ENGINEER BEFORE CONSTRUCTION BEGINS.

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WALL FRAMING PLAN 2ND FLOOR

1/4\"/>



WALL FRAMING PLAN MAIN FLOOR

1/4\"/>

SCALE: SEE RVP
DATE: 04/08/23
DRAWN BY: JG

SHEET NUMBER
8

2ND FLOOR

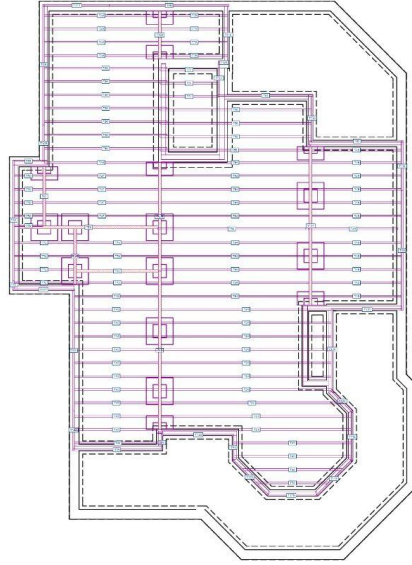
KATHRYN FINERY
2,215 SQFT CUSTOM DESIGN

Jeff Goodman
4389 NORTON CREEK ST
CLEVELAND, OH 44131
(423) 244-4028



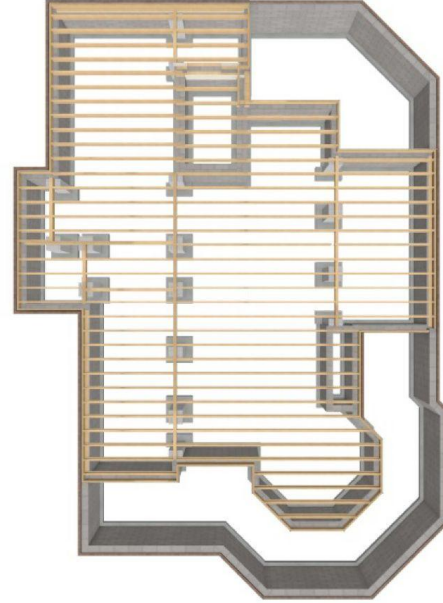
Application Information

Case # HZ-25-18
5508 Beulah Ave.



FLOOR/CEILING FRAMING PLAN
MAIN FLOOR

1/4"=1'



REFER TO FRAMING NOTED FOR CONSTRUCTION. FRAMING PLANS ARE FOR BASIC PURPOSES AND RECOMMENDED FOR REVIEW BY STRUCTURAL ENGINEER BEFORE CONSTRUCTION BEGINS.

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SHEET NUMBER

9

SCALE: SEE VIEW

DATE: 3/14/2025

DRAWN BY: JLG

FLOOR/CEILING
FRAMING

KATHRYN FINERTY

2,215 SOFT CUSTOM
DESIGN

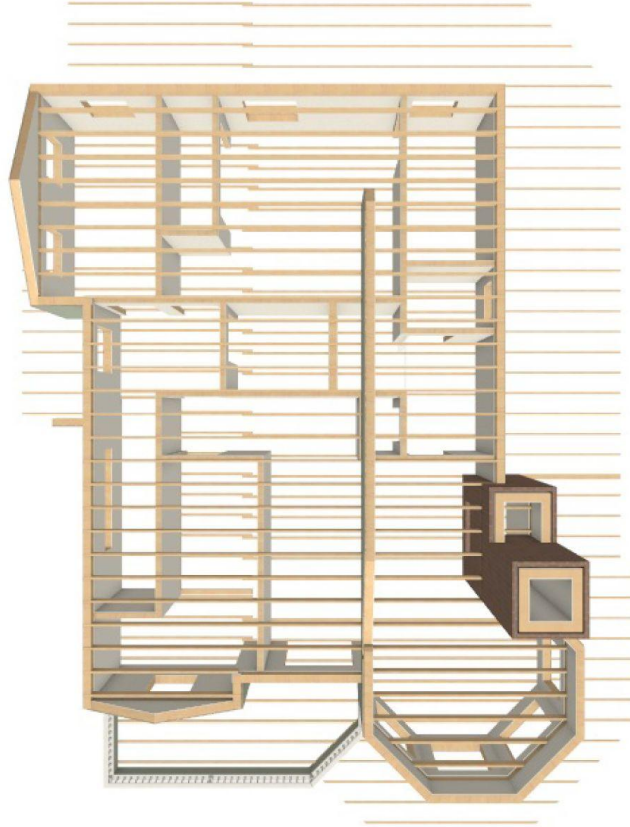
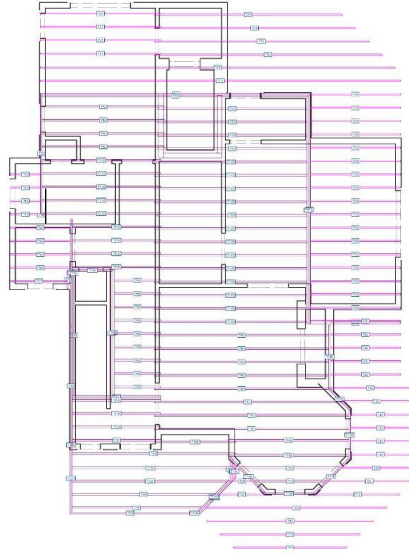
Jeff Goodman
4399 NORTH OCOEE ST
CLEVELAND, TN. 37312
(423) 244-4028



Application Information

Case # HZ-25-18
5508 Beulah Ave.

FLOOR/CEILING FRAMING PLAN
2ND FLOOR
14'-1"



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SCALE: SEE VIEW
DATE: 2/14/2025
DRAWN BY: JLG

SHEET NUMBER
10
OF 12

FLOOR/CEILING
FRAMING

KATHRYN FINERY

2,215 SOFT CUSTOM
DESIGN

Jeff Goodman
4399 NORTH OCOEE ST
CLEVELAND, TN, 37312
(423) 244-4028

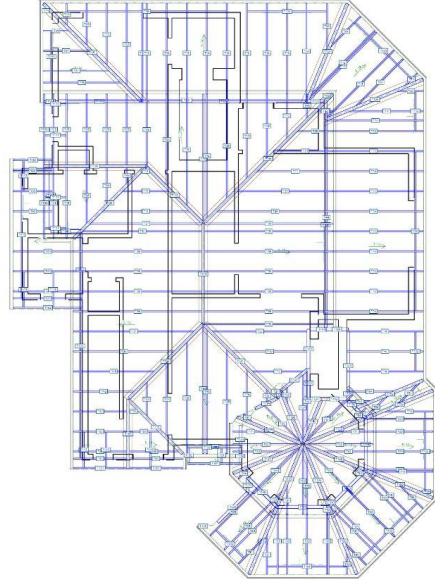


Application Information

Case # HZ-25-18
5508 Beulah Ave.

ROOF FRAMING

1/4"=1'



REFER TO FRAMING NOTED FOR CONSTRUCTION. FRAMING PLANS ARE FOR BASIC PURPOSES AND RECOMMENDED FOR REVIEW BY STRUCTURAL ENGINEER BEFORE CONSTRUCTION BEGINS.
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SCALE: SEE VIEW

DATE: 5/18/2025

DRAWN BY: J.G.

SHEET NUMBER

11

TOTAL SHEETS

ROOF & FRAMING
PLAN

KATHRYN FINERTY

2,215 SQFT CUSTOM
DESIGN

Jeff Goodman
4399 NORTH OCDEE ST
CLEVELAND, TN, 37312
(423) 244-4028

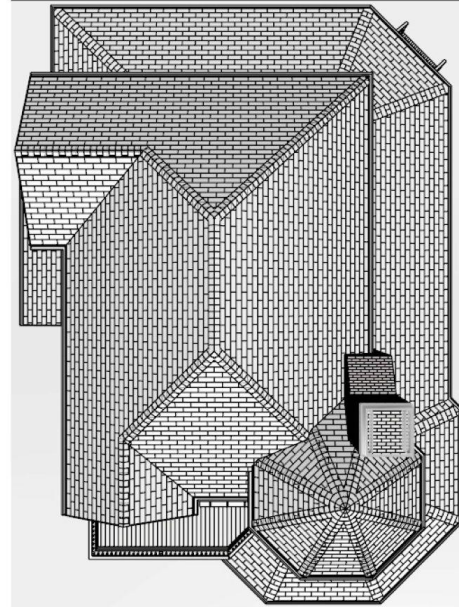
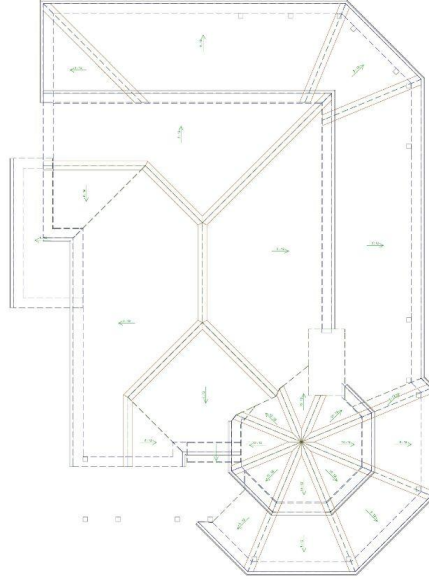


Application Information

Case # HZ-25-18
5508 Beulah Ave.

ROOF PLAN

1/8"=1'



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SCALE: SEE VIEW
DATE: 2/14/2025
DRAWN BY: J.G.

SHEET NUMBER
12
OF 17

ROOF & FRAMING
PLAN

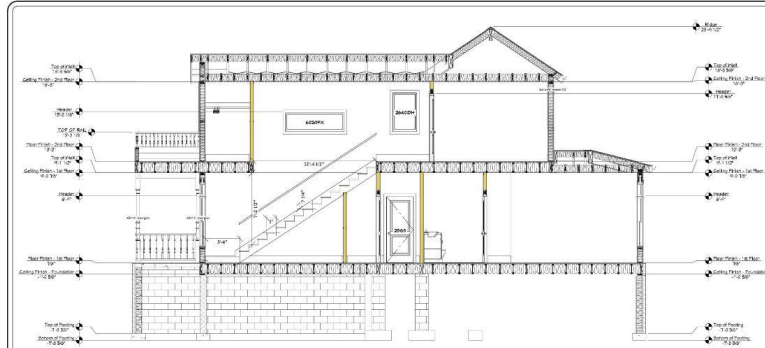
KATHRYN FINERTY
2.215 SQFT CUSTOM
DESIGN

Jeff Goodman
4389 NORTH COOKE ST
CLEVELAND, TN 37312
(423) 244-4028



Application Information

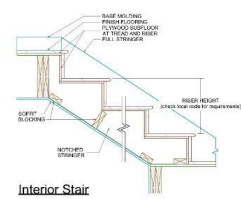
Case # HZ-25-18
5508 Beulah Ave.



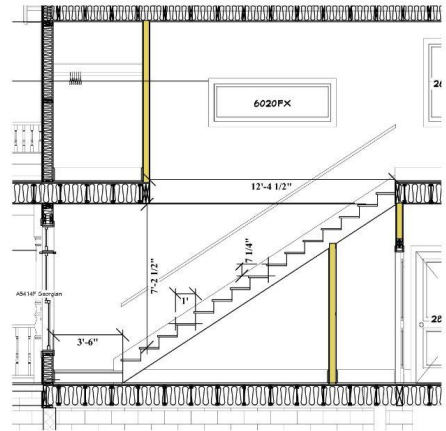
51 STAIR SECTION
1/2" = 1"



STAIR SECTION OVERVIEW
N.T.S.



Interior Stair



51 STAIR SECTION
1/2" = 1"

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SCALE: SEE VIEW
DATE: 2/14/2025
DRAWN BY: JG

SECTIONS & DETAILS

KATHRYN FINERY
2.215 SOFT CUSTOM
DESIGN

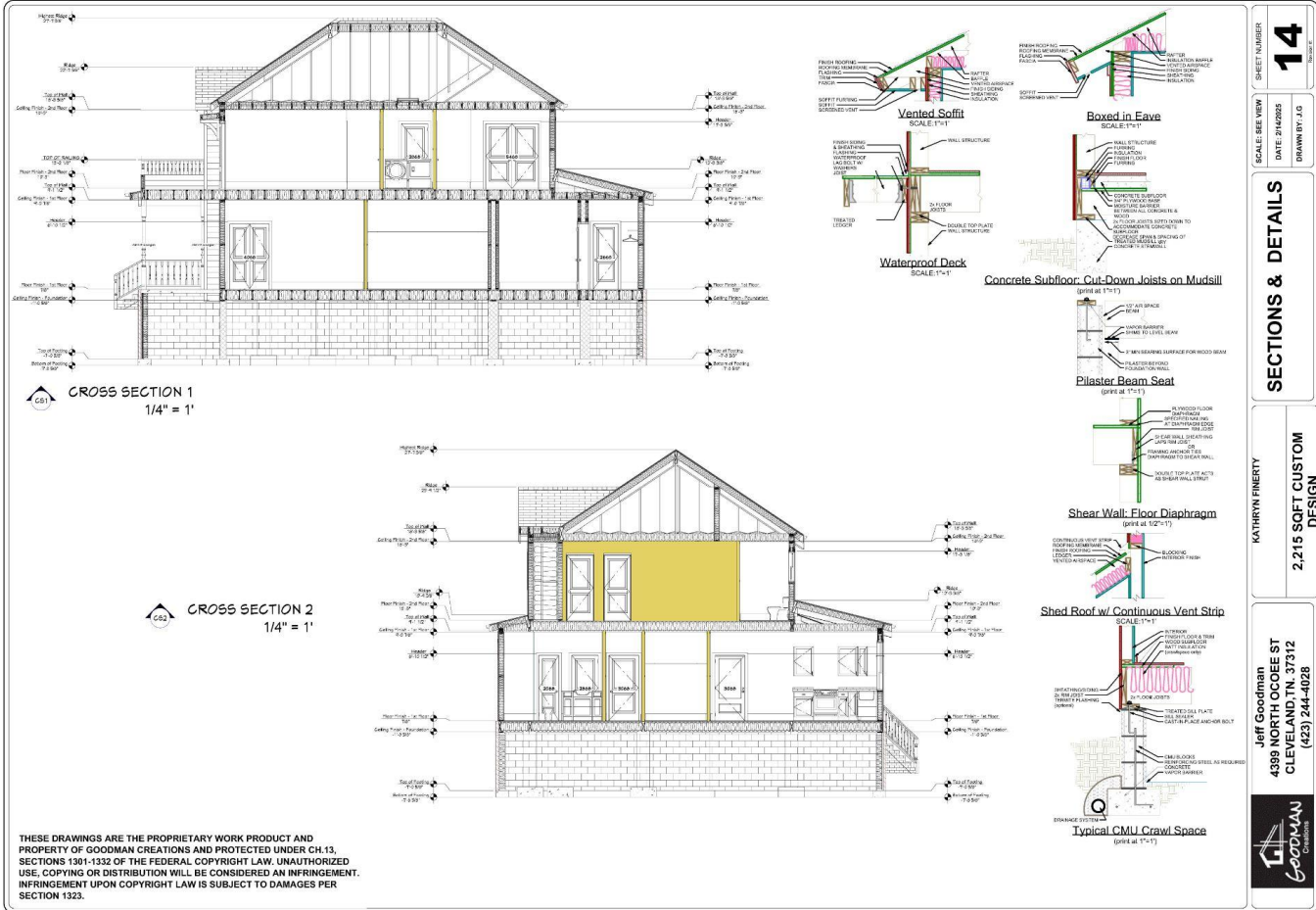
Jeff Goodman
4399 NORTH OCOEE ST
CLEVELAND, TN. 37312
(423) 244-4028



SHEET NUMBER
13
OF 22

Application Information

Case # HZ-25-18
5508 Beulah Ave.



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SHEET NUMBER
14
DATE: 04/2025
DRAWN BY: JLG

SCALE: SEE VIEW
SECTIONS & DETAILS

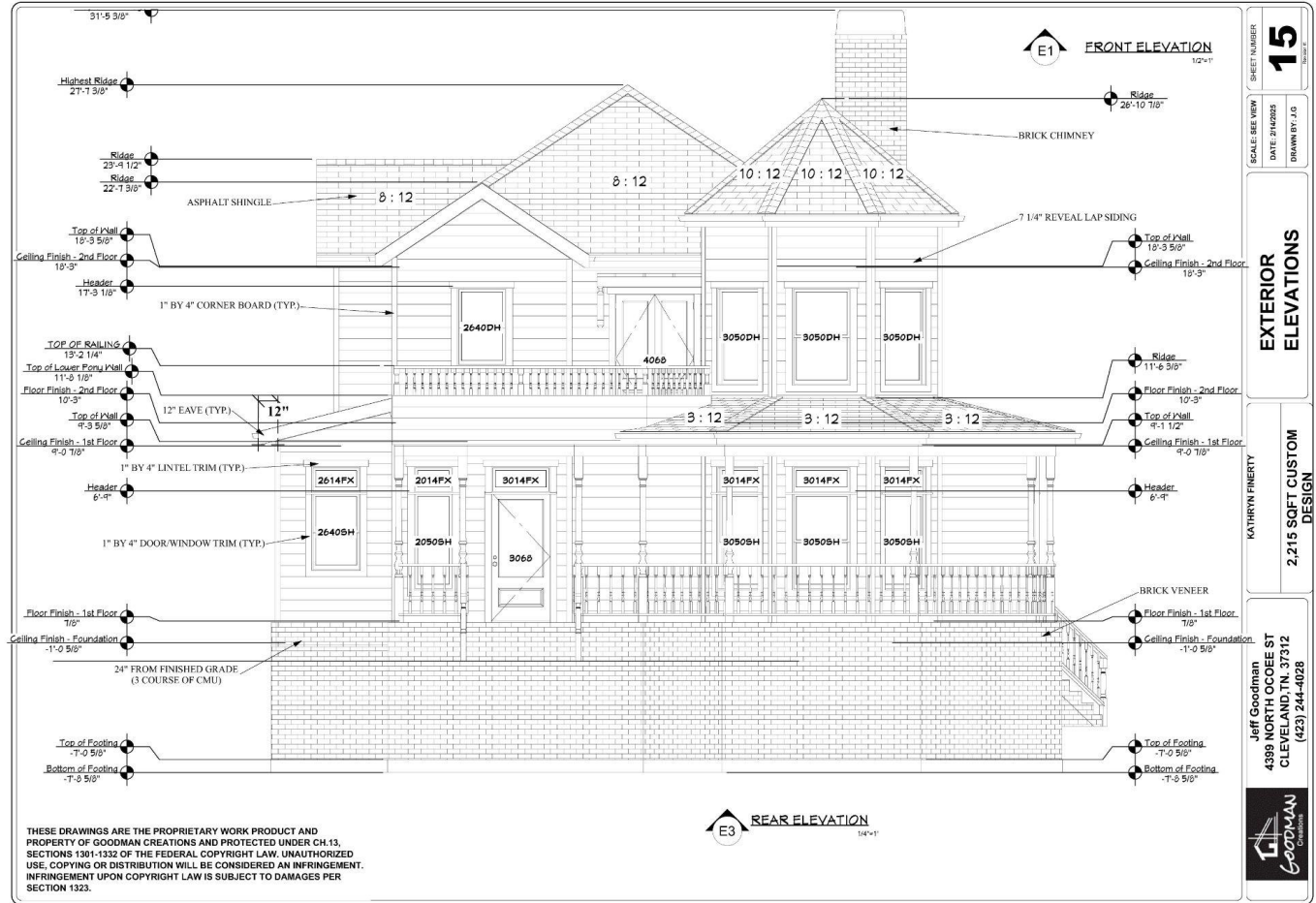
KATHRYN FINERTY
2.215 SQFT CUSTOM DESIGN

Jeff Goodman
4399 NORTH LOCREE ST
CLEVELAND, TN 37312
(423) 244-4028



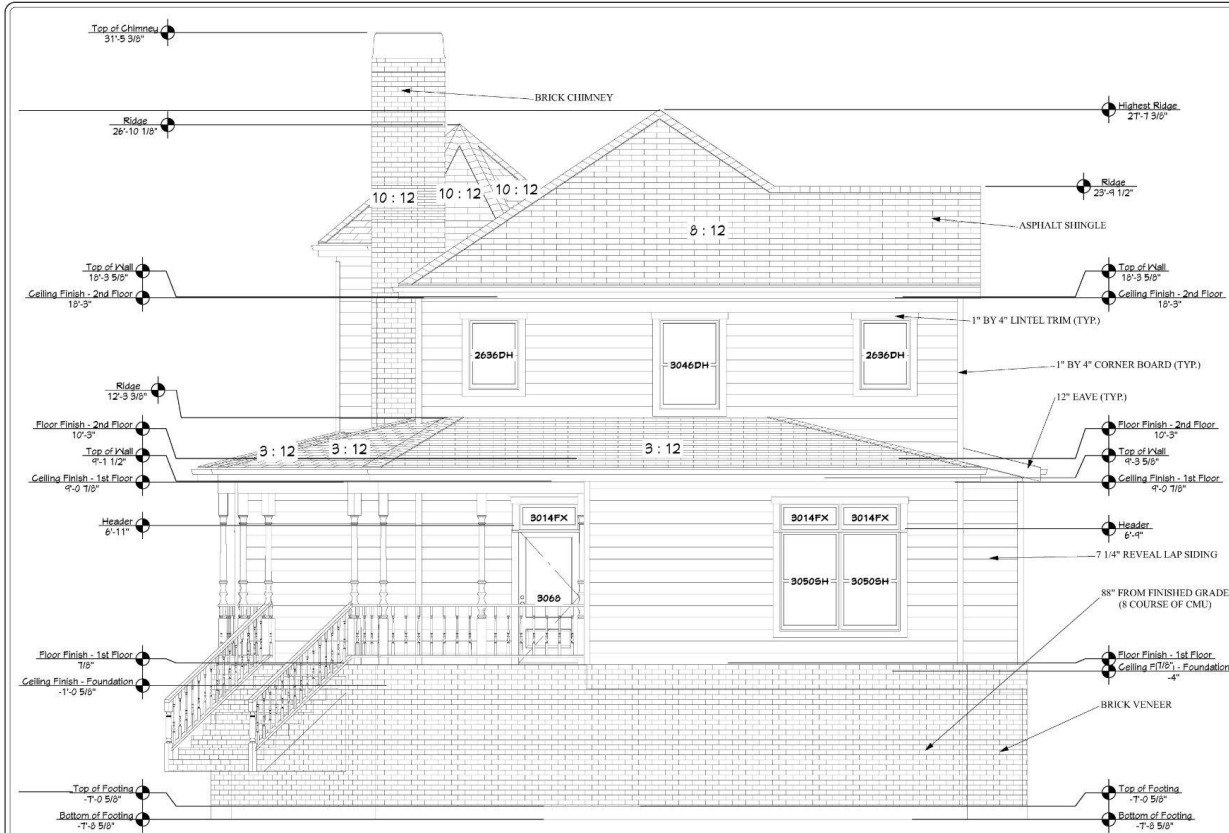
Application Information

Case # HZ-25-18
5508 Beulah Ave.



Application Information

Case # HZ-25-18
5508 Beulah Ave.



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E3 REAR ELEVATION
1/2"=1'

SHEET NUMBER
16
SCALE: SEE VIEW
DATE: 2/14/25
DRAWN BY: JLG

EXTERIOR
ELEVATIONS

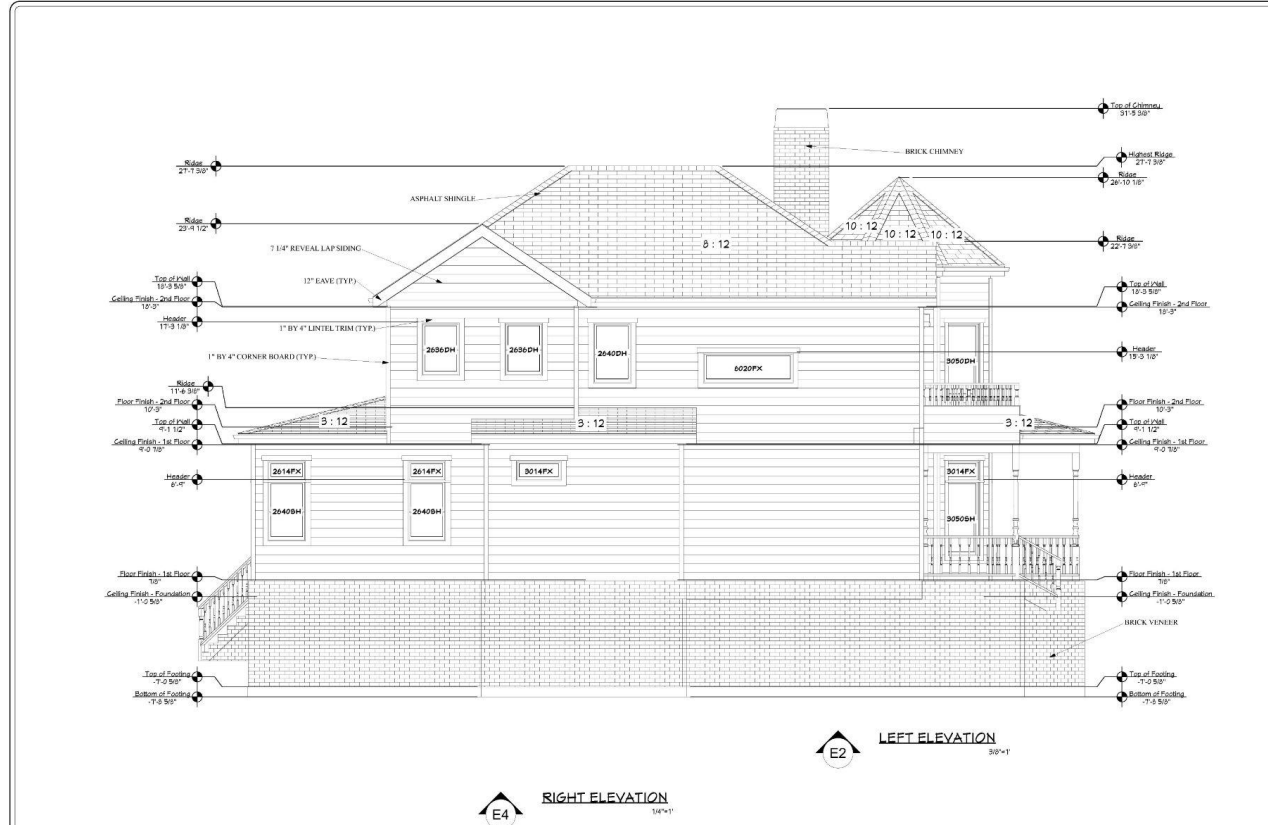
KATHRYN FINERY
2.215 SOFT CUSTOM
DESIGN

Jeff Goodman
4399 NORTH OCOEE ST
CLEVELAND, TN. 37312
(423) 244-4028



Application Information

Case # HZ-25-18
5508 Beulah Ave.



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SHEET NUMBER
17

SCALE: SEE VIEW
DATE: 2/4/2025
DRAWN BY: JG

EXTERIOR ELEVATIONS

KATHRYN FINERY
2,215 SQFT CUSTOM DESIGN

Jeff Goodman
4399 NORTH OCOEE ST
CLEVELAND, TN, 37312
(423) 244-4028



Application Information

Case # HZ-25-18
5508 Beulah Ave.



SCALE: SEE VIEW
DATE: 04/08/23
DRAWN BY: J.G.

SHEET NUMBER
18
OF 22

KATHRYN FINERY
2,215 SQFT CUSTOM
DESIGN

Jeff Goodman
4399 NORTH COOPER ST
CLEVELAND, OH 44131
(423) 244-4028



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Material List

Case # HZ-25-18

5508 Beulah Ave.

5:54



< All iCloud



February 5, 2025 at 5:53 PM

5508 Beulah Ave

Material list for new construction.

Brick veneer for foundation.

2 x 6 exterior walls wood frame.

aluminum clad windows with transoms on the first floor. No transoms on the second floor.

Single light front & back door with transom.

Trim around window will be 1x4 & 1x6 MiraTech.

Hardy Siding with 7.1/4" reveal

Dimensional shingle roof with open rafters & fascia.

Cement front porch with columns and spindles.

Relevant Saint Elmo Guidelines:

Case # HZ-25-18, 5508 Beulah Ave.

6.22 New Construction, Page 52

Staff Report

22. New Construction (New Buildings)

A. Of primary buildings should maintain, not disrupt, the existing pattern of surrounding historic buildings along the street by being similar in:

1. Shape. Variations of rectangular and square forms are most appropriate for the district; **The applicant is proposing a turret.**

2. Scale (height and width). Most of the district is zoned R-2 which restricts new construction to no more than two-and-one half stories or thirty-five feet in height. This maximum height would be appropriate for most blocks in the district. On blocks which have predominantly one-story buildings, new construction of one-to two stories would be more appropriate; **The applicant is proposing a two-story dwelling. There are primarily one-story dwellings on Beulah Avenue in this block. The site is at the corner and across from a commercial development.**

3. Roof shape and pitch. Roof slope ratio for new construction should be a minimum of 6:12 to a maximum of 12:12 (6:12 refers to six inches of rise to 12 inches of run in measuring slopes). Roof for of gable and hipped variations are more appropriate than those of flat, mansard, or gambrel forms. Flat roofs are appropriate only for commercial buildings; **The building has a mix of 10:12, 8:12, and 3:12 slopes. The house has a mix of gable, shed, and a hipped conical roof on the turret.**

4. Orientation to the street. All buildings should have at least a secondary entrance and some type of entry porch on the front of the building. Most buildings in St. Elmo have their fronts oriented towards the street and this characteristic should be maintained by new construction;

Staff Report

Case # HZ-25-18, 5508 Beulah Ave.

5. Location and proportion of porches, entrances, windows, and divisional bays. Porches should have roof forms of gable or shed design and at least cover the entrance. **The proposed porch has a shed roof and covers the entrance. A portion of the porch over the front door has a second story porch with a balustrade.**

Porches which extend partially or fully across the main façade are recommended. Porch columns and railings should be simple in design in square or round shapes. Columns should be a minimum of six inches and a maximum of ten inches square or in diameter. Porch railings should have balusters which are no more than two inches square or in diameter. **The proposed porch extends fully across the main facade. The porch has turned spindle balusters and columns.**

New windows should be rectangular sash whose proportions on the main façade should not exceed three-to-one in a height to width ratio or be any less than two to one in height-to-width (two to one proportions are preferred). No horizontal sash, casement, or awning type windows should be placed on the fronts of buildings. The use of plastic or “snap-in” muntins (window pane dividers) is discouraged. **1/1 aluminum clad windows with transoms are proposed on the first floor. The second floor has appears to have 1/1 aluminum clad windows.**

6. Foundation height. Height of foundations should be a minimum of 1 foot, six inches and a maximum of two feet above grade. No slab. Foundations or at-grade foundations should be utilized on the fronts or readily visible sides of buildings. **The foundation will be clad with brick and 2' from finished grade.**

7. Floor-to-ceiling heights. Floor to ceiling heights should not exceed ten feet and not be less than eight feet;

8. Porch height and depth. Porch heights should be consistent with those of adjacent buildings. Porch depths should be a minimum of six feet; **The porch depth is 7'.**

Staff Report

Case # HZ-25-18, 5508 Beulah Ave.

9. Material and material color.

Foundations: Most foundations are of brick, poured concrete or concrete block. Poured concrete is more appropriate than concrete block. If concrete block is used, a stucco wash is recommended to provide a smooth surface. Split faced concrete block is also an acceptable foundation material. **The foundation is to be clad with brick.**

Brick Dwellings: If the new construction is of brick, the brick should closely match typical mortar and brick color tones found in the district and along the block. White or light mortars provide too much contrast with typical dark brick colors and should be avoided.

Frame Dwellings: If the new construction is of frame, the preferred exterior material is horizontal wood siding which is a minimum of four inches and a maximum of six inches in width. The use of masonite is also acceptable as long as it meets these size recommendations. The use of grained pressboard or chipboard is less appropriate but is acceptable if it meets these size recommendations. Vertical board siding is not appropriate for new construction on the fronts or sides of buildings. The use of vinyl or aluminum siding is also discouraged and should only be used on rear or non-readily visible sides of buildings. **The applicant is proposing 7 ¼ hardie lap siding.**


Windows: Wood construction is preferred for windows, especially those on the fronts of buildings. However, the use of vinyl clad or aluminum windows is also acceptable as long as they follow proper proportions (see window guidelines). The use of dark anodized aluminum windows or storm windows is appropriate. **The applicant is proposing aluminum clad windows.**

10. Details and texture. The width of window and door trim should be at least three and one-half inches. Roof eaves should have a minimum depth of eight inches. No imitative architectural features such as vergeboard (“gingerbread”), roof balustrades, or prominent stained glass windows are appropriate for new construction. **The window trim will be 1x4 and 1x6. The applicant has proposed a second story on part of the front porch with a balustrade.**

11. Placement on the lot. Front and side yard setbacks should respect the setbacks found along the block on which the building is sited. The minimum front yard setback under R-2 zoning is 25 feet. Requirements for side yard setbacks are a minimum of 10 feet. **The applicant is showing a 20’ front setback (14’ at the edge of porch) and 6’3” side setbacks. The width of the building has been reduced from 52’ to 51’. The applicant has reduced the width of the second story to 47’.**

B. Of primary buildings, while blending in with adjacent buildings, should not be too imitative of historic styles so that new buildings can be distinguished from historic buildings. **The proposal has some distinctive Victorian elements like the turret and turned balusters and columns.**

NOTE: A new building becomes too imitative through application of historic architectural decoration such as gingerbread, vergeboards, dentils, fish scale shingles, etc. These kinds of details are rarely successful on a new building. They fail to be accurate (are usually smaller, skimpy, versions of authentic ones) and should be avoided.




Case # HZ-25-18
5508 Beulah Ave.

Applicant Presentation (10 minutes maximum)

Case # HZ-25-18
5508 Beulah Ave.

Community Comments & Comments by Other Persons
(3 minutes maximum per person)





Case # HZ-25-18
5508 Beulah Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

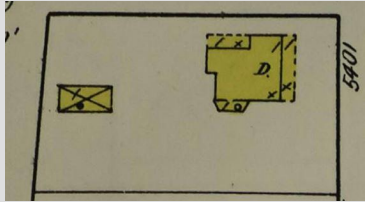
Case # HZD-25-2

5401 Alabama Avenue

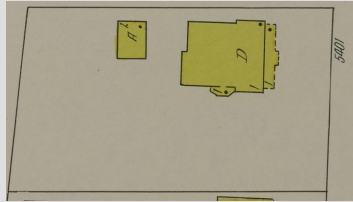
Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1889-1904 (National Register Nomination)

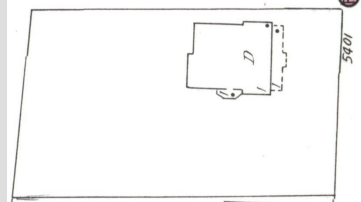
Description of proposed project: Demolition



1917



1930



1955

- (198) 5401 Alabama (Between 1889-04): Rectangular, one story, frame, gabled roof, facade gable has vent and wood shingle trim, porch has elaborate frieze treatment.



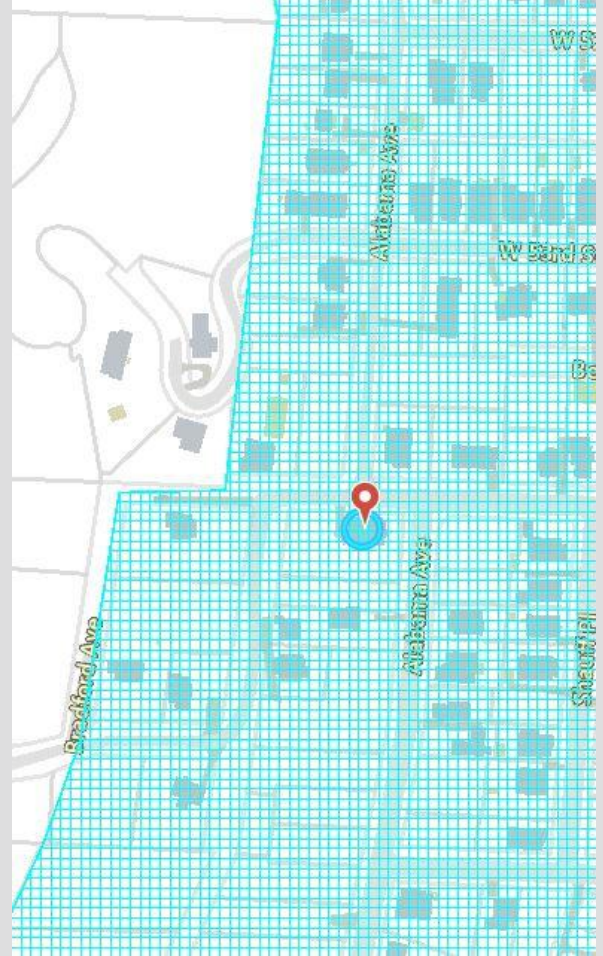
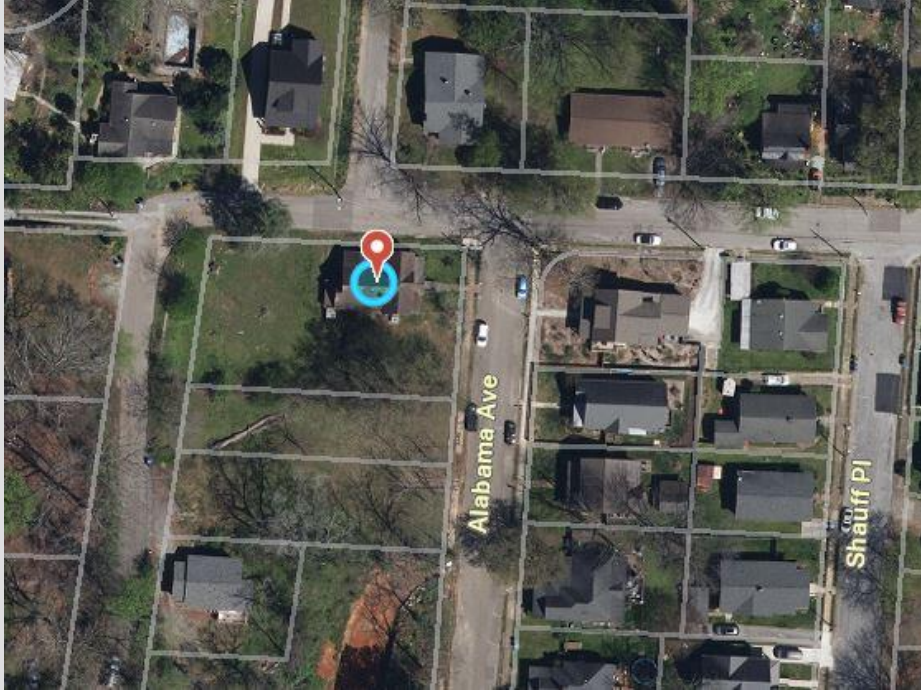
Historic Zoning History:

HZ-19-103: Request for Demolition. Case was denied by CHZC.

Map Location

Case # HZD-25-2

5401 Alabama Ave.



Property Photos

Case # HZD-25-2
5401 Alabama Ave.



Property Photos

Case # HZD-25-2
5401 Alabama Ave.



Neighboring Property Photos

Case # HZD-25-2
5401 Alabama Ave.



Neighboring Property Photos

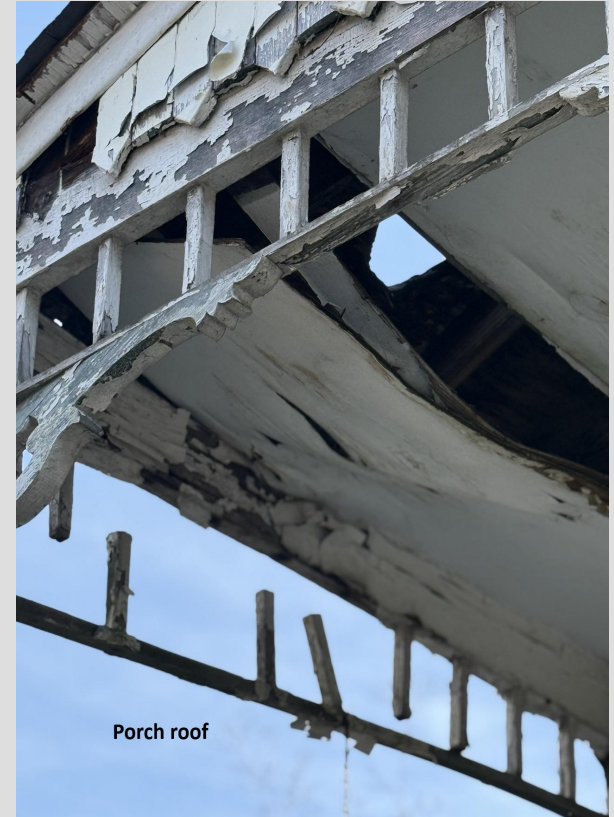
Case # HZD-25-2
5401 Alabama Ave.



Application Information

Case # HZD-25-2

5401 Alabama Ave.



Application Information

Case # HZD-25-2

5401 Alabama Ave.



Application Information

Case # HZD-25-2

5401 Alabama Ave.



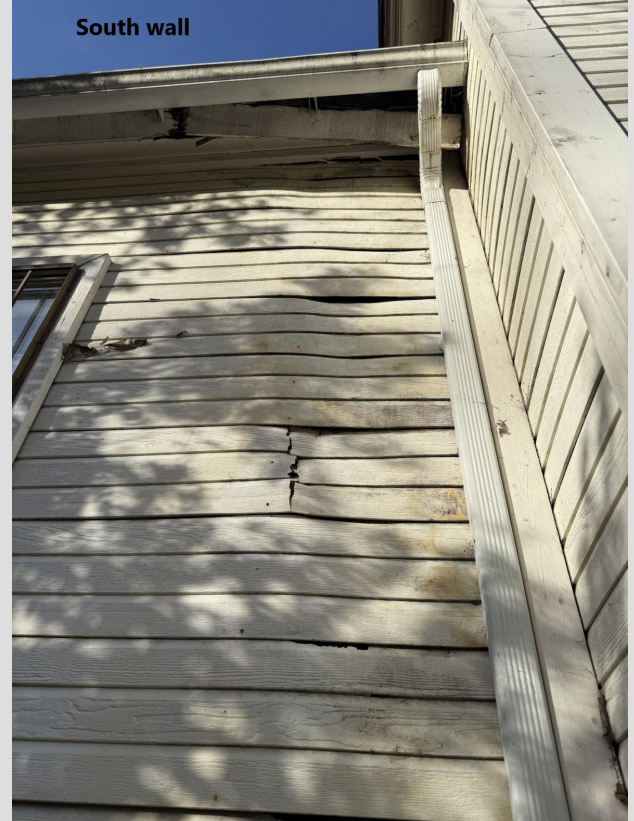
Application Information

Case # HZD-25-2

5401 Alabama Ave.



South

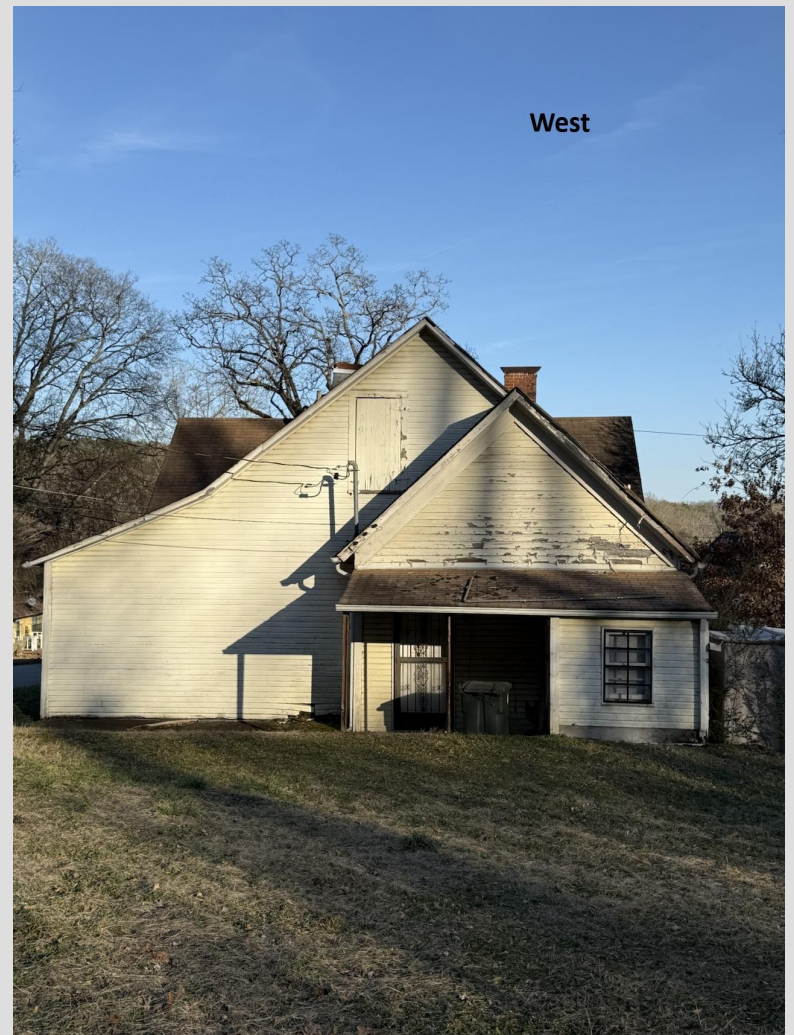


South wall

Application Information

Case # HZD-25-2

5401 Alabama Ave.



Application Information

Case # HZD-25-2

5401 Alabama Ave.



Application Information

Case # HZD-25-2

5401 Alabama Ave.

HOME WITH LAND for sale 5401
Alabama Ave Chattanooga TN 37409.
\$650k Contact Bianca (901)552-2877,

Chattanooga Times Free Press

THANK YOU
FOR YOUR ORDER

| |
|---|
| Account #: STBV6 |
| Company: BIANCA VITICONTE |
| Client: BIANCA VITICONTE/ Bianca Viticone |
| Street Address: 4505 Saint Elmo Ave |
| City, State: Chattanooga, TN |
| Zip Code: 37409-1639 |
| Phone #: 901-552-2877 |
| Credit Code: Pre-payment Required |

| |
|----------------------------------|
| Order Date: 11/04/2024 |
| Sales Executive: Samara Swafford |
| Ad taker: SSWAFFORD01 |

| |
|-----------------------|
| Pay Type: Credit Card |
| Class: 402 |
| Words: 15 |
| Agate Lines: 3 |
| Columns: 1 |
| Ad Depth: 18 |
| PO#: |

| |
|---|
| Ad ID #: 454821 |
| Copy Line: HOME WITH LAND for sale 5401 Ala |

| |
|---|
| Publication Name: TFP Times Free Press, TFP TimesFreePress.com |
|---|

| |
|--------------------------|
| Ad Start Date: 11/9/2024 |
| Ad Stop Date: 11/23/2024 |
| Insertions: 29 |

| |
|---------------------|
| Total: \$125.12 |
| Payment: \$(125.12) |
| Balance Due:\$0.00 |

Chattanooga Times Free Press

400 East 11Th Street
Chattanooga, TN 37403

Application Information

Case # HZD-25-2
5401 Alabama Ave.

Foundation Structural Inspection and Evaluation
May 13, 2024

To: Bianca Viticonti
Property: 5401 Alabama Avenue, Chattanooga, TN
Author: Kerry B. Pennington, P.E. - Structural Engineer
Pennington Engineering, LLC



The home was inspected on Monday, April 22, 2024 for potential structural deficiencies and to determine if the residence is repairable or salvageable.

The foundation appears to have originally been a pier and beam foundation. CMU blocks have been added to the crawlspace between the piers. Several locations of the foundation have experienced significant settlement as evident from cracks and damage. See Photos #1



Photos #1 through #4 - Damaged Foundation

The foundation and piers are undercut in some locations due to digging out of the crawlspace and surface water runoff from the rear of the home (Photos #5 & #6)



Photos #5 & #6 - Undercut Piers

The framing of the home is severely dilapidated due to water intrusion and years of neglect. The front porch roof, interior walls, ceiling joists and floor framing would need to be completed replaced (Photos #7 through #10)

Application Information

Case # HZD-25-2
5401 Alabama Ave.

The roof framing is in decent condition based on the age of the home. But the 2x4 roof joists on 24" spacing and no ridge beam is inadequate and would not withstand required IRC environmental loading.



Recommendation

Based on the condition of the foundation and framing (that can be seen) alone, a total demolition and re-build is warranted. Based on the readily visible damage, it is assumed that more than 80% of the wood framing of the entire structure will need to be replaced, repaired, or increased to meet code. This structure is a hazard to walk in, much more to work in and try to salvage.

It is the recommendation of the author that the structure be completely demolished.

*Disclaimer - All inspections are conducted visually to available areas. No destructive examinations were performed to indicate internal structural components or original design intent. Therefore the author assumes that all structures were adequately designed and constructed for the intended loads.



Photos #7 through #10 - Framing Damage

Application Information

Case # HZD-25-2
5401 Alabama Ave.



City of Chattanooga

CE20240009121

08/29/2024

Certified Mailing

**CRENSHAW NOLAN
CRENSHAW BIANCA VITICONTE
4505 ST ELMO AVE
CHATTANOOGA, TN 37409**

EMERGENCY ORDER TO COMPLY

Dear Property Owner,

The inspector named below conducted an inspection of the property at 5401 ALABAMA AVE, CHATTANOOGA, TN 37409 (Tax Map No.) 1870 A 013. This inspection revealed the property to be unfit for human habitation, in emergency condition and dangerous in accordance to Section 21 of the Municipal Codes.

It is unlawful for any owner or party interested therein to rent or offer to rent this building after receipt of this NOTICE OF CONDEMNATION. It should also be unlawful for any person to occupy the building which has been condemned by the code official, Public Officer or authorized designee.

You are hereby ordered to repair or demolish this property on or before the compliance date(s) listed. Failure to comply with this order by the compliance date shall result in this matter being recommended for prosecution.

Selling or transferring of ownership while under inspection shall be in compliance of Sec. 21-61, requiring proper notification.

If you are aggrieved by this action, you must immediately appeal this order before the compliance date by filing a written petition with the Public Officer through the Code Enforcement Department.

Please contact this department at (423) 643-7307 if you have any questions regarding this order.

Thank you,

Code Enforcement Inspector: Josh Chandler
Phone: (423) 643-7348

Condemnation Compliance Date: October 05, 2024

Application Information

Case # HZD-25-2
5401 Alabama Ave.



City of Chattanooga

Revised _____
No Change _____

CE2024009121
August 29, 2024

MUNICIPAL INSPECTION REPORT

Owner: CRENSHAW NOLAN
CRENSHAW BIANCA VITICONTE
4505 ST ELMO AVE
CHATTANOOGA, TN 37409

LOCATION OF PROPERTY: 5401 ALABAMA AVE, CHATTANOOGA, TN 37409

HUNNICUTT NO:1870 A 013

| Violation | Dangerous | Condition | Location | Comments |
|---|-------------------------------------|-----------|----------|--|
| 21-171 - General requirements for interior of Structure | <input checked="" type="checkbox"/> | | | <p>21-171 - "THE INTERIOR OF A STRUCTURE AND EQUIPMENT THEREIN SHALL BE MAINTAINED, IN GOOD REPAIR, STRUCTURALLY SOUND AND IN A SANITARY CONDITION ..."</p> <p>"Exterior violations found throughout interior of structure include:</p> <ul style="list-style-type: none"> •Rotted and deteriorated ceilings, walls, floors, etc. If the framing of the home is severely dilapidated due to water intrusion and years of neglect. The interior walls, ceiling joists and floor framing would need to be completely replaced. •Unseen black mold/mildew growing throughout interior. •Structural Engineer Report states "Based on the condition of the foundation and framing (that can be seen) alone, a total demolition and re-build is warranted. Based on the readily visible damage, it is assumed that more than 80% of the wood framing of the entire structure will |

| | | | | |
|--|-------------------------------------|--|--|--|
| | | | | <p>need to be replaced, repaired, or increased to meet code. This structure is a hazard to walk in, much more to work in and try to salvage. It is the recommendation of the author that the structure be completely demolished. "</p> <p>**Structure posted condemned on 8/28/24. Please obtain all required permits through the city of Chattanooga Land Development Office (423.643.5892) to repair or demolish the structure.</p> <p>**Apply to submit plans/drawings for review before Chattanooga Historic Zoning Commission (CHZC) (423.643.5891) for granting of a Certificate of Appropriateness (COA).</p> |
| 21-76(e) - Dangerous Structure or Premises | <input checked="" type="checkbox"/> | | | <p>21-76(e) - Any Structure or Premises in danger of partial or total collapse, unsafe for occupancy, unsecured, damaged, or dilapidated, is a substantial fire risk, with inadequate electrical systems, mechanical, or plumbing systems, unsanitary, unfit for human habitation or in such a condition that is likely to cause sickness or disease or other cause that is a threat to life or health, leaning, buckling or deteriorated walls or foundations, or improperly distributed loads shall be considered dangerous.</p> |
| 21-128 - Exterior of Structure | <input type="checkbox"/> | | | <p>21-128 - GENERAL EXTERIOR VIOLATIONS - "THE EXTERIOR OF A STRUCTURE SHALL BE MAINTAINED, IN GOOD REPAIR AND STRUCTURALLY SOUND"...</p> <p>"Exterior violations throughout structure include:</p> <ul style="list-style-type: none"> •Damage to roof and roof systems •Loose/missing shingles •Damage to siding, trim, fascia, etc. •Damage to porch ceiling, supports, railings, trim, etc. •Damaged/inoperable gutters and down spouts •Vegetation growing onto structure and in gutters |

| | | | | |
|--|--|--|--|--|
| | | | | <p>**Please obtain all required permits through the city of Chattanooga Land Development Office (423.643.5892) to repair or demolish the structure.</p> <p>**Apply to submit plans/drawings for review before Chattanooga Historic Zoning Commission (CHZC) (423.643.5891) for granting of a Certificate of Appropriateness (COA).</p> |
|--|--|--|--|--|

Code Enforcement Inspector: Josh Chandler
Phone: (423) 643-7348

IMPORTANT- PLEASE READ

The property in which you are interested, located as above indicated, has been inspected in accordance with the Municipal Codes Program of the City of Chattanooga. The above violations will need to be corrected by the compliance date(s) shown on this form and on the attached Municipal Letter. Questions concerning this report may be directed to the Code Inspector at the address above.

Relevant Saint Elmo Guidelines:

Case # HZD-25-2, 5401 Alabama Ave.

6.7 Demolition, Page 39

Staff Report

Demolition is forever and once a building is gone it takes away another piece of the neighborhood's character. Demolition of a historic building which has most of its original design and features should only be an action of last resort.

A. Of any original feature or part of a historic building should be avoided.

B. Of a building which contributes to the historic or architectural significance of the St. Elmo Historic District should not occur, unless:

1. Public safety and welfare requires the removal of the building or structure; **City of Chattanooga Code Enforcement cited the property for exterior violations including fascia, soffit, siding, peeling paint, shingles, mold, etc. and cited an Emergency Order to Comply after Condemnation.**

2. If a building has lost its architectural and historical value and its removal will improve the appearance of the neighborhood; **The building still retains its architectural and historical value.**

3. If a building does not contribute to the historical or architectural character and importance of the district and its removal will improve the appearance of the neighborhood; **The property is listed as contributing in the National Register Nomination and still retains some of its defining architectural features including gable vent, shingle trim and "elaborate frieze treatment" on the porch.**

4. If the denial of the demolition will result in an economic hardship on the applicant as determined by Section VIII of the Ordinance.

C. Of pre-1945 secondary buildings (garages, etc.) may be appropriate if substantially deteriorated (requiring 50% or more replacement of exterior siding, roof rafters, surface materials, and structural members).



Case # HZD-25-2
5401 Alabama Ave.

Applicant Presentation (10 minutes maximum)

Case # HZD-25-2
5401 Alabama Ave.

Community Comments & Comments by Other Persons
(3 minutes maximum per person)





Case # HZD-25-2
5401 Alabama Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

Staff Updates:

- Public Comment Closed for Historic Guidelines Update
- Waiting on Edits from Preservation Design Partnership
 - Staff Working on Ordinance Amendments

Final Information:

A **Certificate of Appropriateness** will be issued for approved projects within a week of the hearing.

Next meeting date: April 17, 2025 (Application Deadline, March 21, 2025 by 4 p.m.)

If your case is deferred OR if you have conditional items to bring back before the Commission, you MUST contact staff and ask to be added to the agenda for that meeting. You will NOT automatically be added to the agenda.



Adjourn

Motion and Vote